

Punch Inspection Services

Property Inspection Report



21 Jump Street, Katy, TX 774XX
Inspection prepared for: Punch New Home Demo
Date of Inspection: 12/18/2014 Time: 8:00am
Age of Home: 2014 Size: 4800 sq/ft
Weather: Overcast/rain
House faces: Northwest
Temperature at arrival: 60 Degrees
Present at inspection: Client
Occupancy: Vacant

Inspector: Michael Missler
TREC License #8902
Phone: 281-802-6567
Email: mike@punchtexas.com
www.punchtexas.com (under construction)



PROPERTY INSPECTION REPORT

Prepared For: Punch New Home Demo
 (Name of Client)

Concerning: 21 Jump Street, Katy TX, 774XX
 (Address or Other Identification of Inspected Property)

By: Michael Missler, TREC License #8902 12/18/2014
 (Name and License Number of Inspector) (Date)

 (Name and License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Foundations
-------------------------------------	--------------------------	--------------------------	--------------------------	----------------

Type of Foundation(s): Post Tension Foundation

Comments:

- In my opinion the foundation is performing as intended. No significant problems were observed.
- Note: Stress cracks are evident in the garage flooring. Stress cracks are normal in post tension foundations and not considered structurally deficient.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Grading and Drainage
-------------------------------------	--------------------------	--------------------------	-------------------------------------	-------------------------

Comments:

- All perimeter areas of the home appear to have positive drainage at this time.
- Note: Sub-surface drains have been installed to facilitate drainage. The effectiveness of the systems is unable to be determined as interior piping/tubing is not visible for inspection of blockage or root intrusion.
- Standing water was observed near the drain for the atrium. Lowering the piping/grate recommended to facilitate runoff.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Roof Covering Materials
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------------------

Type(s) of Roof Coverings: Asphalt composition shingle

Viewed From: Roof

Comments:

- Note: Not all roofing applications are walked on during the inspection due to slope of roof, weather and other safety concerns. Weather conditions, wind, hail and extreme temperatures affect all roofing from day to day. Continual observation is recommended. (Roofs are not checked for insurability; this is due to the fact that different insurance companies have different standards for insuring homes.
- Raised shingles are evident in various locations of the roofing application, most notably in the left elevation (lower roofing) at the forward wall rake. Further evaluation recommended and repair as required to prevent water intrusion.
- Exposed/unsealed nail-heads are present in various locations of the roofing application. A complete evaluation with repairs/maintenance recommended to prevent moisture intrusion.
- Minor damage was observed to shingle materials in various locations of the roofing application, repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary.
- Drip edge flashing is not installed in the "eyebrow" nearest the exterior door between the garages. Repairs recommended.
- Debris is present in several locations of the roofing. Cleaning recommended.
- A "brick tie" is fastened to the roofing materials and a hip shingle is split in the lower left elevation roofing materials. Repairs recommended to prevent potential for water intrusion.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Left elevation lower roofing



Lower right elevation roofing



Roofing eyebrow over exterior door between garages



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Lower left elevation roofing application

X			X
---	--	--	---

D. Roof Structures and Attics

Approximate Average Depth of Insulation: 12 to 14 inches

Approximate Average Thickness of Vertical Insulation: 3 1/2 inches

Comments:

- Viewed From: Attics
- Ventilation observed: Soffit and Ridge
- All visible structural members appear to be functioning properly at time of inspection.
- Soffit materials are damaged (holes present) in the left forward corner eave. Repairs recommended.



Left forward soffit corner

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

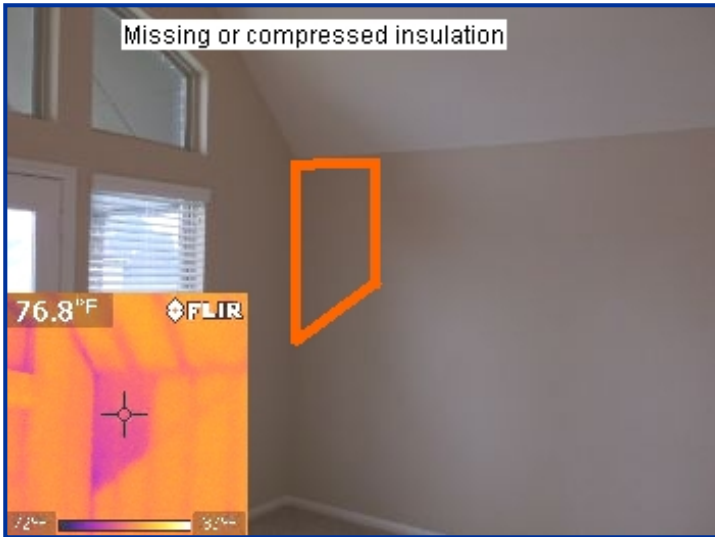
I	NI	NP	D
---	----	----	---

X			X	E. Walls (Interior and Exterior)
---	--	--	---	----------------------------------

Wall Materials: Exterior walls are made of brick, stone, and stucco
 Interior walls are made of sheetrock

Comments:

- Minor mortar voids were observed in the exterior masonry veneer, most notably in the right elevation applications. Repairs recommended to prevent potential for moisture intrusion.
- Voids are present at various window frames. Caulking/sealing recommended to prevent potential for water intrusion.
- Weep holes are not installed in some areas, most notably beneath the upper rear porch and over the exterior door from the breakfast room. Weep holes are required to allow moisture to "weep" away if condensation forms on the back side of the brick and mortar. Repairs recommended.
- Typical minor mortar cracks were observed in some locations, most notably at the brick/stone transition nearest the two car garage (forward corner). Repairs may be desired.
- Incomplete repairs are present in the master closet sheetrock. Completion recommended.
- Water damage is present above the commode in the lower left powder bath. Further evaluation recommended and repairs as required to ensure further damage does not occur.
- Observed missing or compressed insulation at the rear of the upper game-room (right wall). Further investigation is recommended and repairs as needed to ensure thermal boundary.



Right rear wall of upper game room



Right elevation over A/C compressors

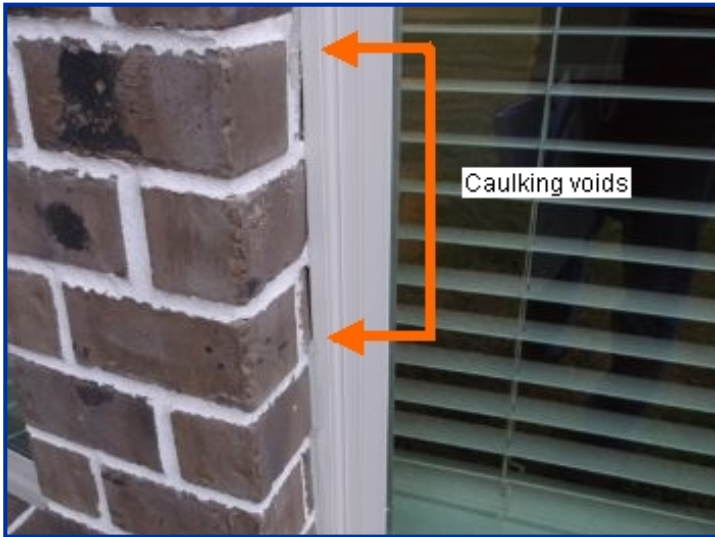
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Masonry beneath upper rear porch



Right elevation masonry wall near A/C disconnects



Master closet

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Wall over commode in lower left bath

X			X
---	--	--	---

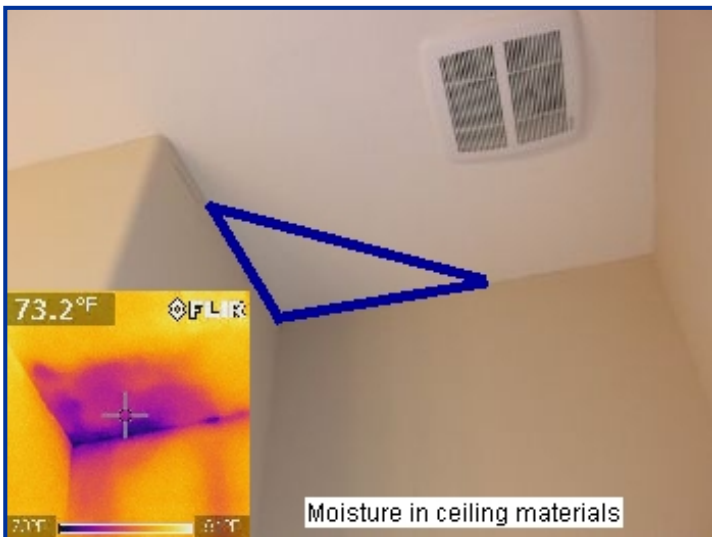
F. Ceilings and Floors

Ceiling & Floor Materials:

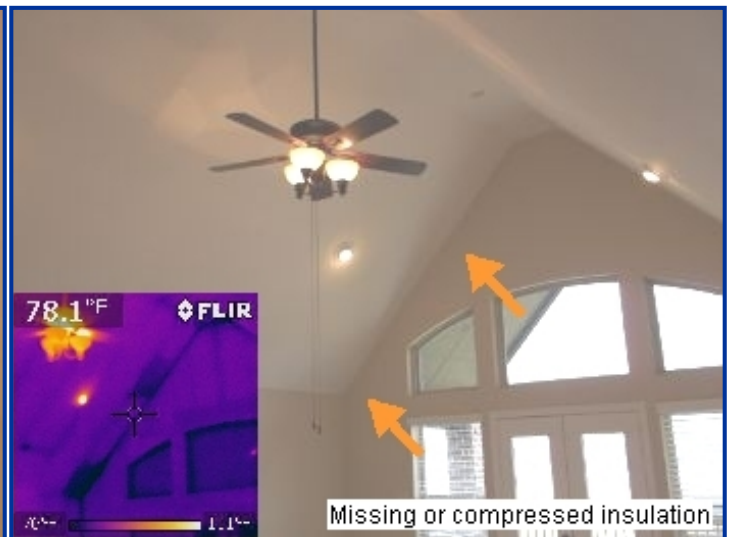
- Ceiling is made of sheetrock
- Flooring composition(s): wood, tile, and carpet

Comments:

- Water damage is present above the commode in the lower left powder bath. Further evaluation recommended and repairs as needed.
- Observed missing or compressed insulation in the upper game room left vault ceiling. Further investigation is recommended and repairs as needed to ensure thermal boundary.



Ceiling over commode in lower left hall bath



Rear left of upper game room

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---



Ceiling above commode in lower left hall bath

G. Doors (Interior and Exterior)

Comments:

- All doors were functioning properly during inspection. No significant deficiencies were observed.

H. Windows

Window Types: Double pane/Single hung and Fixed/Vinyl window units are installed

Comments:

- All windows were installed and functioning properly during inspection. No significant deficiencies were observed.

I. Stairways (Interior and Exterior)

Comments:

- A spindle near the base of the curved stairs is not properly secured to the handrail. Repairs recommended for proper installation.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Base of curved stairs

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	--------------------------

J. Fireplaces and Chimneys

Locations: Fireplace is located between the living rooms

Types: Heatilator Brand

Fireplace is prefabricated unit with ceramic logs and gas log lighter

Unit is remote operated with electric ignition

Gas valve is located forward of the unit in the right living area

Comments:

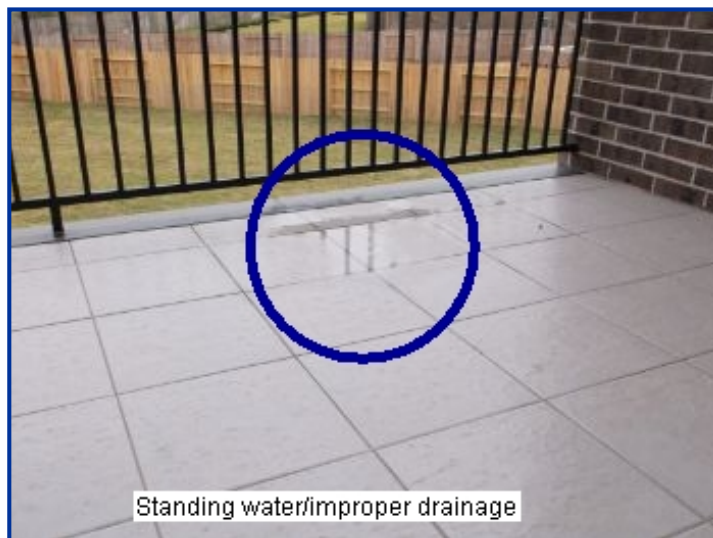
- Unit operated and is vented properly at time of inspection. No deficiencies observed.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

K. Porches, Balconies, Decks, and Carports

Comments:

- The upper rear porch is improperly sloped to allow complete run off of rain water and moisture. Further evaluation recommended and repairs as needed.



Upper rear porch

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

L. Other

II. ELECTRICAL SYSTEMS

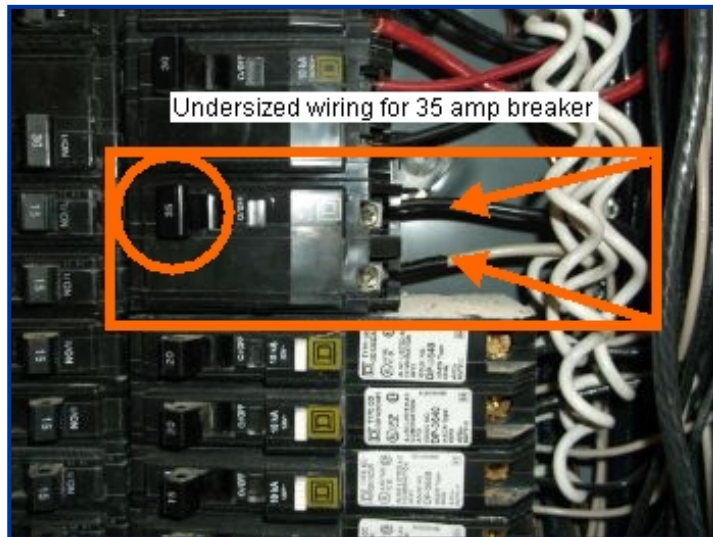
A. Service Entrance and Panels

Panel Locations: Electrical panels are located in the right wall of the one (1) car garage

Materials & Amp Rating: Aluminum wiring
200 amp/Square D Brand with 100 amp sub-panel

Comments:

- Due to the defects observed, recommend evaluation of breakers and wiring by licensed electrical professional and repair as required by current standards.
- The 35 amp A/C breaker for the 3.5 ton compressor is supplied by #10 AWG wiring. #10 AWG wire is only rated for up to 30 amps. The wiring for the A/C unit is undersized for the breaker supplying its power. Further evaluation recommended and repairs as needed.



A/C breaker in main panel

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

- Note: Existing smoke detectors are not tested for proper function. Further evaluation recommended for proper safety. Current standards require smoke detectors in all rooms deemed sleeping quarters and adjacent hallways.
- Due to the defects observed, recommend a complete evaluation of all electrical circuits, branch wiring, switches, outlets and fixtures by licensed electrical professional.
- A concrete encased grounding electrode (UFER) is installed. These systems are only applicable when the foundation concrete is in direct contact with bare earth. Typical slab foundation installations require a moisture/vapor barrier which void this installation. Further evaluation recommended and repairs as needed.
- The outlet forward of the fencing in the right elevation exterior is inoperable. Repairs required for proper operation.
- Light fixture(s) in the home is/are inoperable, most notably over the kitchen island. If the bulb(s) are not blown, the circuit should be investigated and repaired as needed for proper operation.
- The (lower) GFCI outlet in the forward wall of the outdoor kitchen is installed with an open neutral and is not properly tripping when tested. Repairs required for proper function.
- The switches for the hall lighting at the top of the curved stairs are wired incorrectly. The left switch is inoperable when the right switch is in the "off" position. Repairs required for proper function.
- The outlet installed rear of the exterior doors in the study appears to be overheated when observed with thermal imaging. Further evaluation recommended and repairs as needed for proper safety.
- The outlet installed for the upper rear porch was not able to be tested as it would not accept the three prong plug end of testing equipment. Further evaluation recommended and repairs as needed for proper operation.



Overheated outlet

Left rear wall of study



Inoperable outlet

Right forward elevation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Heating Equipment
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------------

Type of System: Central Forced Air Systems

Energy Source: First Floor Unit (Right): Lennox Brand Furnace - Model # EL195UH090XE48C-04 (88K BTU) manufactured in 2014

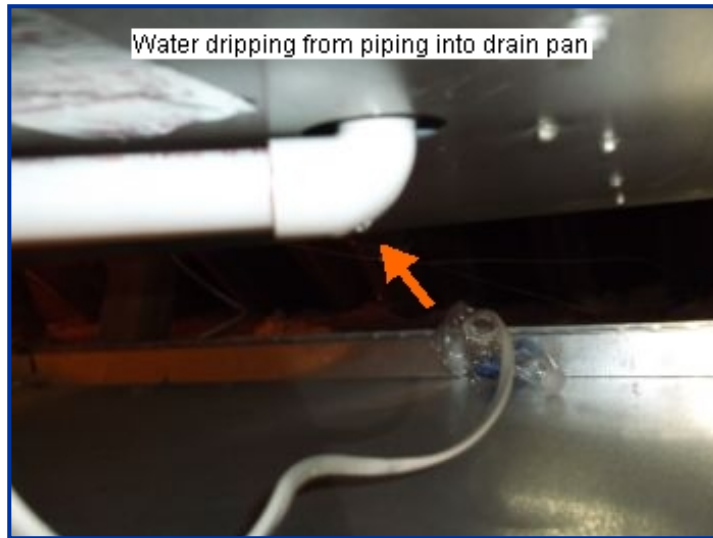
First Floor Unit (Left): Lennox Brand Furnace - Model # EL195UH090XE48C-04 (88K BTU) manufactured in 2014

Second Floor Unit: Lennox Brand Furnace - Model # EL195UH090XE48C-04 (88K BTU) manufactured in 2014

Comments:

- Note: It is recommend that the heating system be completely serviced before each heating season. Filters should be changed as needed. Checking humidifiers, electric air filters and proper airflow is not included in this inspection. Only the emergency heat is checked on heat pump systems when the outside temperature is above 80 degrees.

- Water is dripping from piping beneath both furnaces installed in the left elevation of the attic. Further evaluation recommended and repairs as needed.



Left rear furnace unit

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

B. Cooling Equipment

Type of System: Central Forced Air Systems
 Three Zone System
 First Floor Unit (Right): Lennox Brand Compressor - Model # 14ACX-036-230-15 (3 ton) manufactured in 2014
 First Floor Unit (Left): Lennox Brand Compressor- Model # 14ACX-041-230-03 (3.5 Ton) manufactured in 2014
 Second Floor Unit: Lennox Brand Compressor- Model # 14ACX-036-230-15 (3 ton) manufactured in 2014

- Comments:
- Note: It is recommend the AC unit be completely serviced before each cooling season and the condensate drain flushed with chlorine bleach every 2 months during the cooling season to prevent clogging. Air conditioning units are not operated when the outside temperature is below 60 degrees because of possible damage to the compressor unit.
 - First floor (right) unit operated to control and produced an average supply of 54 degrees and a return of 71 degrees which is a temperature drop of 17 degrees. This is within test limits of 15 to 20 degrees.
 - First floor unit (left) operated to control and produced an average supply of 54 degrees and a return of 70 degrees which is a temperature drop of 16 degrees. This is within test limits of 15 to 20 degrees.
 - Second floor unit operated to control and produced an average supply of 59 degrees and a return of 76 degrees which is a temperature drop of 17 degrees. This is within test limits of 15 to 20 degrees.

C. Duct System, Chases, and Vents

- Comments:
- The right side register in the (left) living room indicates restricted airflow as evidenced with thermal imaging (see photo). Further evaluation recommended and repairs as needed.



Living room (left of fireplace)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

IV. PLUMBING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Water Supply System and Fixtures
-------------------------------------	--------------------------	--------------------------	-------------------------------------	-------------------------------------

Location of Water Meter: Street (right)

Location of Main Water Supply Valve: Exterior of structure (right side)

Static Water Pressure Reading: 60 PSI

Comments:

- The valve for the right elevation hose bib leaks during operation. Repairs may be desired.
- Anti-siphon/back-flow prevention device(s) are not installed on exterior faucet(s) located in the left elevation. Repairs recommended for proper safety.
- Minor chips are present in the finish of the steel tub in the upper "jack & jill bath". Repairs may be desired.
- The shower pan in the lower left hall bath is damaged/chipped. Repairs may be desired.



Left elevation hose bib



Lower left bath shower pan

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. Drains, Wastes, and Vents
-------------------------------------	--------------------------	--------------------------	--------------------------	------------------------------

Comments:

- All drains operated and appeared to be vented properly during inspection. No significant deficiencies were observed during this inspection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

C. Water Heating Equipment

Energy Source: Natural Gas
 Water heaters are located in the attic
 Capacity: Two (2) 40 gallon units
 Bradford White Brand - Model # Two (2) M4403S6FBN manufactured in 2014
 Comments:
 • The water heater(s) operated and appear to be vented properly during this inspection.
 • The water temperature was measured at 123 degrees which is not within acceptable limits to prevent the potential for scalding of 120 degrees. Adjustments to setting recommended.

D. Hydro-Massage Therapy Equipment

E. Other

V. APPLIANCES

A. Dishwashers

Comments:
 • GE Brand
 • Dishwasher operated normally during inspection. No deficiencies observed.

B. Food Waste Disposers

Comments:
 • In Sink Erator Brand
 • The food waste disposer operated properly during inspection. No deficiencies observed.

C. Range Hood and Exhaust Systems

Comments:
 • Unknown Brand
 • Unit is ducted to the exterior
 • The light for the vent hood is not operating. Repairs recommended.

D. Ranges, Cooktops, and Ovens

Comments:
 • GE Brand Oven(s)
 • GE Brand Cooktop
 • The cook-top operated properly during inspection. No deficiencies noted.
 • The gas valve is located in the cabinet at the right of the unit
 • The oven temperatures were measured at 375 degrees (each) when set at 350 degrees which is within acceptable limits of + or - 25 degrees. Proper calibration may be desired.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
---	----	----	---

E. Microwave Ovens

Comments:
 • GE Brand
 • The microwave operated properly during inspection. No deficiencies observed.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:
 • All vent fans operated properly at time of inspection and appear to be vented to the exterior.

G. Garage Door Operators

Door Type:
 • Overhead door(s) with tension spring(s) and cables
 Comments:
 • Two (2) Chamberlain Brand Units Installed
 • The reversing functions (photo electric sensor/resistance) operated properly at time of inspection. No deficiencies noted.

H. Dryer Exhaust Systems

Comments:
 • The dryer vent appears to properly vent to the exterior of the structure.

I. Other

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:
 • Hunter Brand

B. Swimming Pools, Spas, Hot Tubs, and Equipment

C. Outbuildings

D. Private Water Wells (A coliform analysis is recommended)

E. Private Sewage Disposal (Septic) Systems

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	F. Other
--------------------------	--------------------------	-------------------------------------	--------------------------	----------

Report Summary

STRUCTURAL SYSTEMS		
Page 3 Item: B	Grading and Drainage	<ul style="list-style-type: none"> • Standing water was observed near the drain for the atrium. Lowering the piping/grate recommended to facilitate runoff.
Page 4 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> • Raised shingles are evident in various locations of the roofing application, most notably in the left elevation (lower roofing) at the forward wall rake. Further evaluation recommended and repair as required to prevent water intrusion. • Exposed/unsealed nail-heads are present in various locations of the roofing application. A complete evaluation with repairs/maintenance recommended to prevent moisture intrusion. • Minor damage was observed to shingle materials in various locations of the roofing application, repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary. • Drip edge flashing is not installed in the "eyebrow" nearest the exterior door between the garages. Repairs recommended. • Debris is present in several locations of the roofing. Cleaning recommended. • A "brick tie" is fastened to the roofing materials and a hip shingle is split in the lower left elevation roofing materials. Repairs recommended to prevent potential for water intrusion.
Page 5 Item: D	Roof Structures and Attics	<ul style="list-style-type: none"> • Soffit materials are damaged (holes present) in the left forward corner eave. Repairs recommended.
Page 6 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> • Minor mortar voids were observed in the exterior masonry veneer, most notably in the right elevation applications. Repairs recommended to prevent potential for moisture intrusion. • Voids are present at various window frames. Caulking/sealing recommended to prevent potential for water intrusion. • Weep holes are not installed in some areas, most notably beneath the upper rear porch and over the exterior door from the breakfast room. Weep holes are required to allow moisture to "weep" away if condensation forms on the back side of the brick and mortar. Repairs recommended. • Typical minor mortar cracks were observed in some locations, most notably at the brick/stone transition nearest the two car garage (forward corner). Repairs may be desired. • Incomplete repairs are present in the master closet sheetrock. Completion recommended. • Water damage is present above the commode in the lower left powder bath. Further evaluation recommended and repairs as required to ensure further damage does not occur. • Observed missing or compressed insulation at the rear of the upper game-room (right wall). Further investigation is recommended and repairs as needed to ensure thermal boundary.
Page 8 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> • Water damage is present above the commode in the lower left powder bath. Further evaluation recommended and repairs as needed. • Observed missing or compressed insulation in the upper game room left vault ceiling. Further investigation is recommended and repairs as needed to ensure thermal boundary.

Page 9 Item: I	Stairways (Interior and Exterior)	<ul style="list-style-type: none"> • A spindle near the base of the curved stairs is not properly secured to the handrail. Repairs recommended for proper installation.
Page 10 Item: K	Porches, Balconies, Decks, and Carports	<ul style="list-style-type: none"> • The upper rear porch is improperly sloped to allow complete run off of rain water and moisture. Further evaluation recommended and repairs as needed.

ELECTRICAL SYSTEMS

Page 11 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> • The 35 amp A/C breaker for the 3.5 ton compressor is supplied by #10 AWG wiring. #10 AWG wire is only rated for up to 30 amps. The wiring for the A/C unit is undersized for the breaker supplying its power. Further evaluation recommended and repairs as needed.
Page 12 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • A concrete encased grounding electrode (UFER) is installed. These systems are only applicable when the foundation concrete is in direct contact with bare earth. Typical slab foundation installations require a moisture/vapor barrier which void this installation. Further evaluation recommended and repairs as needed. • The outlet forward of the fencing in the right elevation exterior is inoperable. Repairs required for proper operation. • Light fixture(s) in the home is/are inoperable, most notably over the kitchen island. If the bulb(s) are not blown, the circuit should be investigated and repaired as needed for proper operation. • The (lower) GFCI outlet in the forward wall of the outdoor kitchen is installed with an open neutral and is not properly tripping when tested. Repairs required for proper function. • The switches for the hall lighting at the top of the curved stairs are wired incorrectly. The left switch is inoperable when the right switch is in the "off" position. Repairs required for proper function. • The outlet installed rear of the exterior doors in the study appears to be overheated when observed with thermal imaging. Further evaluation recommended and repairs as needed for proper safety. • The outlet installed for the upper rear porch was not able to be tested as it would not accept the three prong plug end of testing equipment. Further evaluation recommended and repairs as needed for proper operation.

HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 13 Item: A	Heating Equipment	<ul style="list-style-type: none"> • Water is dripping from piping beneath both furnaces installed in the left elevation of the attic. Further evaluation recommended and repairs as needed.
Page 14 Item: C	Duct System, Chases, and Vents	<ul style="list-style-type: none"> • The right side register in the (left) living room indicates restricted airflow as evidenced with thermal imaging (see photo). Further evaluation recommended and repairs as needed.

PLUMBING SYSTEMS

Page 15 Item: A	Water Supply System and Fixtures	<ul style="list-style-type: none"> • The valve for the right elevation hose bib leaks during operation. Repairs may be desired. • Anti-siphon/back-flow prevention device(s) are not installed on exterior faucet(s) located in the left elevation. Repairs recommended for proper safety. • Minor chips are present in the finish of the steel tub in the upper "jack & jill bath". Repairs may be desired. • The shower pan in the lower left hall bath is damaged/chipped. Repairs may be desired.
Page 16 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> • The water temperature was measured at 123 degrees which is not within acceptable limits to prevent the potential for scalding of 120 degrees. Adjustments to setting recommended.

APPLIANCES

Page 16 Item: C	Range Hood and Exhaust Systems	• The light for the vent hood is not operating. Repairs recommended.
-----------------	--------------------------------	--