

Punch Inspection Services **Property Inspection Report**



4321 Rodeo Drive, The Woodlands, TX 77XXX
Inspection prepared for: Punch Frame Demo
Date of Inspection: 4/18/2015 Time: 11:00 am
Age of Home: 2015 Size: 4,167 sq/ft
Weather: Overcast/Rain
House faces: West
Temperature at arrival: 76 Degrees
Occupancy: Vacant

Inspector: Michael Missler
TREC License #8902
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Email: mike@punchtexas.com
www.punchtexas.com (under construction)



PROPERTY INSPECTION REPORT

Prepared For: Punch Frame Demo
 (Name of Client)

Concerning: 4321 Rodeo Drive, The Woodlands TX, 77XXX
 (Address or Other Identification of Inspected Property)

By: Michael Missler, TREC License #8902 4/18/2015
 (Name and License Number of Inspector) (Date)

 (Name and License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices; and
- lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

PROPERTY INSPECTION AGREEMENT

Client - _____

Property Street Address - _____

In consideration of the inspection fee of \$ _____ paid by Client to Inspector, the receipt and sufficiency of which is hereby acknowledged by Inspector, and pursuant to this Property Inspection Agreement (this "Agreement"), Punch Inspection Services (the "Inspector"), agrees to conduct an inspection for the purpose of informing Client of major deficiencies in the condition of certain improvements located on the Property described above. The written report produced by the Inspector regarding the Property is the confidential property of the Inspector and Client and shall not be copied, reproduced, used by, transferred to, or relied upon by any other person or company without both the Inspector's and Client's prior written consent.

1. **PURPOSE AND SCOPE OF INSPECTION.** The purpose of this one-time inspection is to identify and disclose visually observable major deficiencies of the inspected systems and items at the time of the inspection only. A system or component has a major defect if it is unsafe or not functioning and cannot be replaced or rendered safe or functional for less than \$1,000. The following items are **not** covered in the scope of the inspection: Any area that is not exposed to view, is concealed, or is inaccessible because of soil, walls, wall coverings, floors, floor coverings, ceilings, insulation, furnishings, stored items, built-in cabinets or shelves, etc., or those areas/items that have been excluded by the TREC standards, as well as detached buildings, fences and gates, landscaping, elevators, lifts, dumbwaiters, media equipment, telephone equipment, security equipment, intercoms, water treatment devices, thermostatic or time clock controls, radiant heat systems, solar heating systems, furnace heat exchangers, alarm systems, draperies, blinds, shutters, hardware, formica, marble, tile floors, wall coverings, air conditioning systems when outside temperature is below sixty (60) degrees, refrigerant and condensate leaks, drains, sprinkler systems in automatic mode or when outside temperature is below thirty-two (32) degrees, landscape lighting, sewer lines, septic systems, water wells, solar heating systems, water conditioning systems, and low voltage lighting. Regarding pools, hot tubs, saunas, steam baths, ponds, and fountains, only above-ground portions of such improvements are inspected, provided, however, that freeze protection equipment and anti-siphon equipment are not inspected. The inspection and report do not address, and are not intended to address, code and regulation compliance (all code references are for educational purposes only), the possible presence of or danger from asbestos, radon gas, lead paint, urea formaldehyde, soil contamination, microwave radiation, electromagnetic fields, microbiological organisms and other indoor and outdoor substances, mold, underground storage tanks, proximity to toxic wastes, zoning ordinances, flood plain location, geological stability of soils, wood destroying insects, dry rot, fungus, or household pests. Client is urged to contact a competent specialist if information, identification, or testing of the above is desired. Many homes have excessive moisture issues that might lead to mold growth, but the ability to detect the presence of mold is beyond the scope of this inspection. If you are concerned about the presence of mold, you are strongly urged to consult with a qualified professional microbiologist or mold inspector prior to purchasing the Property. Inspector is not required to inspect areas which may contain, in Inspector's sole discretion, materials hazardous to the health and/or safety of the Inspector's personnel.

2. **NO WARRANTIES OR GUARANTIES.** This inspection is not intended to be technically exhaustive, nor is it considered to be a guarantee or warranty, expressed or implied, regarding the conditions of the property, items and systems inspected, and it should not be relied on as such. The inspection may include the use of infrared camera/digital camcorders, which can capture infrared and digital images. The use of this additional advanced equipment is for the benefit of the Client; provided, however, that latent and concealed defects and deficiencies are excluded from the inspection, and Inspector in no way purports to perform any service beyond the standard "visual inspection" of the Property. **CLIENT IS HEREBY NOTIFIED THAT THE INSPECTOR HAS NOT MADE, DOES NOT MAKE, AND HEREBY DISCLAIMS ANY WARRANTIES OR GUARANTEES, EXPRESSED OR IMPLIED, REGARDING THE ADEQUACY, PERFORMANCE, OR CONDITION OF ANY STRUCTURE, ITEM, COMPONENT, OR SYSTEM INSPECTED, SPECIFICALLY INCLUDING (BUT NOT LIMITED TO), ANY IMPLIED WARRANTIES OF FITNESS, MERCHANTABILITY, HABITABILITY AND GOOD AND WORKMANLIKE CONDUCT.** Client is advised that property owner warranties are available through third-party providers if warranties are desired. The price of the inspection does not include any such warranties, and none are offered or available through the Inspector. The Inspector shall not be held responsible or liable for any repairs or replacements with regard to the Property or the systems, components, or contents therein. Since the inspection procedure is visual only and is not intended or designed to be diagnostically and/or technically exhaustive, an inherent risk remains that undiscovered problems exist and/or future problems will develop. Client acknowledges that the Inspector is not an insurer and it is not the intent and/or purpose of this inspection procedure to provide client with a risk free purchase or usage of the Property.

3. **LIMITATION OF LIABILITY.** Since the inspection is primarily a visual inspection, it is not possible to eliminate all risks involved in the purchase and/or ownership of the Property. **CLIENT AGREES, TO THE FULLEST EXTENT PROVIDED BY LAW, THAT CLIENT'S SOLE AND EXCLUSIVE REMEDY FOR ANY AND ALL LOSSES OR DAMAGES SUSTAINED BY CLIENT RELATING TO THIS AGREEMENT OR THE INSPECTION OR REPORT PROVIDED PURSUANT HERETO, INCLUDING ATTORNEYS' FEES AND COSTS AND EXPERT WITNESS FEES AND COSTS, IS LIMITED SO THAT THE TOTAL AGGREGATE LIABILITY OF THE INSPECTOR (OR INSPECTOR'S EMPLOYEES OR ASSIGNEES) SHALL NOT EXCEED THE AMOUNT OF THE FEE PAID BY CLIENT TO INSPECTOR FOR THE INSPECTION AND REPORT.** This limitation shall apply regardless of the cause or the legal theory pled or asserted specifically including, but not limited to, negligence and shall control the amount of any award against the Inspector. Unless Inspector is found to be grossly negligent, Inspector shall have no liability with respect to Inspector's obligations under this Agreement or otherwise for consequential, exemplary, special, incidental, or punitive damages even if Inspector has been advised of the possibility of such damages.

4. **TAINTED, CORROSIVE DRYWALL.** From approximately 1999 until today, some homes in Texas were reportedly built or renovated using tainted drywall imported from China ("Tainted, Corrosive Drywall"). Tainted, Corrosive Drywall may emit toxic levels of Hydrogen Sulfide (H₂S), iron disulfide, strontium sulfide, carbon disulfide, carbonyl sulfide, formaldehyde, sulfur dioxide, and/or sulfur trioxide causing corrosion of copper and metal surfaces, including air conditioner coils, refrigerator coils, copper tubing, and electrical wiring, and it often creates noxious odors which may pose health risks. Tainted, Corrosive Drywall has most commonly been reported in houses built or renovated/remodeled after 2000 in 42 out of the nation's 50 states. Additional information concerning Tainted, Corrosive Drywall can be found at: <http://www.cpdc.gov/info/drywall/index.html>; <http://www.constructionguru.com>; and <http://chinesedrywallcomplaintcenter.com>. By signing this Agreement, Client acknowledges that this Inspection will not reveal the existence of Tainted, Corrosive Drywall and/or damages to the Property which may have resulted from Tainted, Corrosive Drywall. In order to determine the existence of Tainted, Corrosive Drywall and related damages, it is recommended that an inspection be scheduled with a drywall specialist.

5. **NOTIFICATION OF DISPUTES REQUIRED/ARBITRATION OF DISPUTES.** Client shall notify Inspector in writing of any controversy or claim related to this Agreement, the inspection or the inspection report within ninety (90) days after the date of this Agreement, and all disputes not submitted to Inspector within such time shall be deemed waived by Client, and Client hereby releases, acquits, and forever discharges Inspector from such claims, and all related causes of action and damages, not submitted to Inspector within said ninety (90) day period. In order to provide Inspector with an opportunity to investigate and resolve any such claim, Client shall not commence any arbitration or other legal proceeding relating to such claim for a period of thirty (30) days after Inspector's receipt of written notice of the claim. If, with respect to a controversy or claim related to this Agreement, the inspection or the inspection report, Client and Inspector are unable to reach a mutually satisfactory resolution within said thirty (30) day period, such dispute shall be settled by binding arbitration administered by the American Arbitration Association under its construction industry arbitration rules; provided, however, that if such claim is made by Client, Client shall satisfy the requirements of Section 5 hereof prior to submitting such claim to arbitration. Only TREC licensed real estate inspectors will be eligible to serve as the arbitrator. Judgment upon the award rendered by an arbitrator may be entered in any court having jurisdiction thereof. In any arbitration or other legal action in which the Inspector is the prevailing party or is not found liable, Inspector shall recover from Client any attorney's fees and costs incurred by Inspector in defense of the proceeding. **NOTICE TO CONSUMERS AND SERVICE RECIPIENTS:** A recovery fund is available for aggrieved persons through the Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78871-2188, 800-250-8732 or 512-459-66544, <http://www.trec.state.tx.us>.

6. **CERTIFICATE OF MERIT.** Client shall make no claim, including without limitation any claim of professional negligence, against Inspector unless Client has first provided Inspector with a written certification executed by an independent Texas Licensed Professional Real Estate Inspector currently practicing in the field of residential inspections in the Greater Houston, Texas area for homebuyers. The certification shall: a) contain the name and license number of the certifier; b) specify the acts or omissions of the Inspector that the certifier contends are not in conformance with the standard of care for a Licensed Professional Real Estate Inspector performing a home inspection under similar circumstances; and c) state in detail the basis for the certifier's opinion that such acts or omissions do not conform to the standard of care. This certificate shall be provided to the Inspector not less than twenty (20) days prior to the presentation of any claim, or the institution of any arbitration or legal proceeding by Client. This certificate of merit requirement will take precedence over any existing state law in force at the time of the claim or demand for arbitration.

7. **INDEMNITY.**

CLIENT AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS INSPECTOR, ITS PARTNERS, OFFICERS, EMPLOYEES, ATTORNEYS, AND AGENTS, AND TO DEFEND ANY ACTION BROUGHT AGAINST ANY SUCH PARTIES, WITH RESPECT TO ANY AND ALL CLAIMS, DEMANDS, CAUSES OF ACTION, DEBTS OR LIABILITIES, INCLUDING REASONABLE ATTORNEYS' FEES, ARISING OUT OF OR RELATING TO THIS AGREEMENT, WHETHER OR NOT RESULTING FROM THE NEGLIGENCE OF ANY PARTY SO INDEMNIFIED, UNLESS CAUSED BY THE GROSSLY NEGLIGENT ACTIONS OR INTENTIONAL MISCONDUCT OF INSPECTOR.

8. **MISCELLANEOUS.** Any particular concern of Client regarding the Property shall be brought to the attention of the Inspector before the inspection begins. All written comments by the Inspector shall supersede oral comments. The inspection report is valid for the date and time of the inspection only. Re-inspection charges will apply for any additional trips to the Property. Client agrees that if he/she is not in receipt of the written inspection report on this Property within 48 hours of the date and time of the inspection, Client will contact the Inspector in writing to inform him that the inspection report has not been received. The invalidity, illegality, or unenforceability of any provision contained in this Agreement shall not affect any other provision hereof, and this Agreement shall be construed as if such invalid, illegal or unenforceable provision has never been contained herein. **THIS AGREEMENT SHALL BE GOVERNED BY AND CONSTRUED IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS. VENUE FOR ANY DISPUTE ARISING IN CONNECTION HERewith IS EXPRESSLY DECLARED TO BE IN HARRISCOUNTY, TEXAS.** This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, executors, administrators, legal representatives, successors and assigns where permitted by this Agreement. This Agreement may not be assigned by Client without Inspector's prior written consent. To the extent that the inspection report issued by the Inspector conflicts with the terms of this Agreement, the terms of this Agreement shall control. This Agreement shall be included as an addendum to the inspection report issued by the Inspector related to the Property. Any notice which is required or desired under this Agreement shall be given in writing and may be sent by personal delivery or by mail (either a. United States mail, postage prepaid, or b. Federal Express or similar generally recognized overnight carrier), addressed as follows (subject to the right to designate a different address by notice similarly given): if to Inspector, Punch Inspection Services, 29627 Spring Forest Drive, Spring, TX 77386; if to Client, to the address set forth hereinbelow.

The undersigned Client hereby executes this Property Inspection Agreement on this the _____ day of _____, 2015.

CLIENT:

(Signature)

I would like a copy of the inspection report forwarded to my REALTOR.
(Please check box, if applicable.)

(Printed Name)
forwarded to _____.

I would like a copy of the inspection report forwarded to _____.
(Please check box, if applicable.)

(Current Address)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Foundations
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Type of Foundation(s): Post Tension Foundation
A visual inspection of the foundation was performed

Comments:

- In my opinion the foundation is performing as intended. No significant problems were observed.

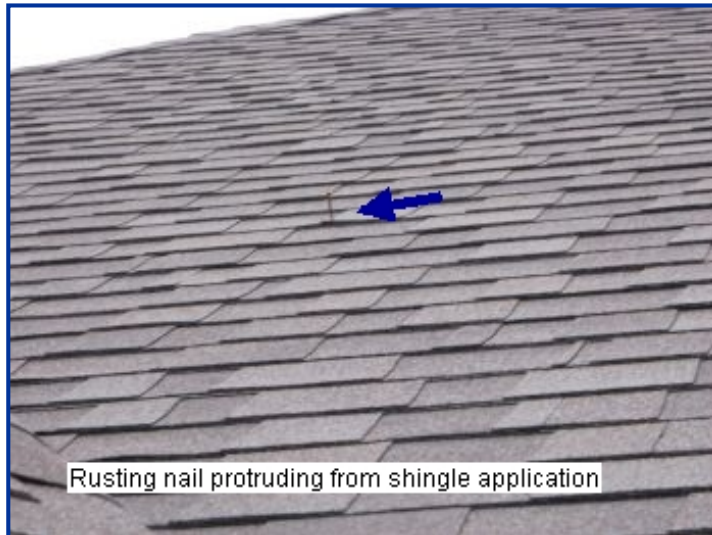
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Grading and Drainage
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Roof Covering Materials
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Type(s) of Roof Coverings: Asphalt composition shingle
Viewed From: Portions of accessible roofing and ground

Comments:

- Note: Not all roofing applications are walked on during the inspection due to slope of roof, weather and other safety concerns. Weather conditions, wind, hail and extreme temperatures affect all roofing from day to day. Continual observation is recommended. (Roofs are not checked for insurability; this is due to the fact that different insurance companies have different standards for insuring homes.
- A rusting nail is protruding from the roofing materials in the (upper) rear elevation roofing application. Repairs recommended to prevent potential for moisture intrusion.



Rusting nail protruding from shingle application

Rear elevation roofing application

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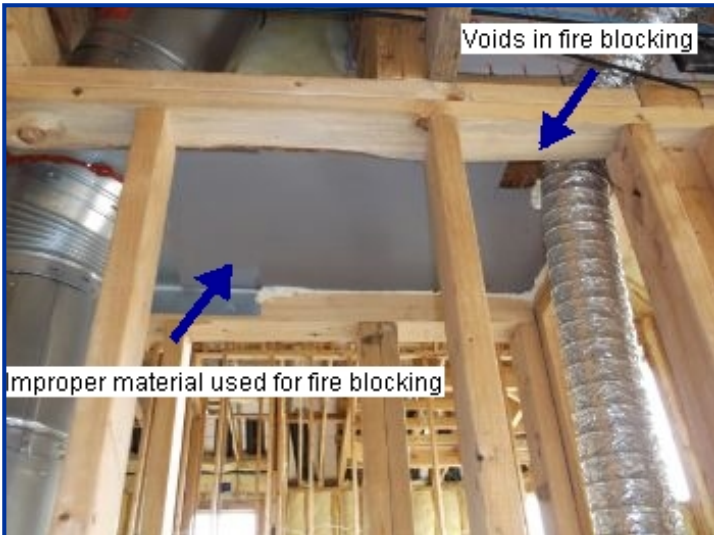
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. Roof Structures and Attics
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Approximate Average Depth of Insulation: Not installed
 Approximate Average Thickness of Vertical Insulation: Not installed

Comments:

- Viewed From: Attics
- Ventilation observed: Soffit and Ridge
- Note: Windstorm bracing requirements differ according to location and vary in scope. Windstorm bracing was not evaluated for compliance during this inspection.
- Note: Upper cabinet blocking is not installed in the kitchen. Further evaluation recommended and repairs as needed.
- Voids are present for the fireplace flue chase and improper materials have been installed as fire blocking. Repairs recommended for proper safety.
- Fire blocking is missing in various locations, most notably for the chase at the bottom of the stairs and the chase in the upper level at the right of the stairwell. A complete review of all chases is recommended and repairs as needed for proper safety.
- Upper ventilation has not been installed for the front and rear porches that share common walls with the home. Repairs recommended.



Fireplace flue chase



Chase at base of stairs

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I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. Walls (Interior and Exterior)
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Wall Materials: Exterior walls are made of wood (2" lumber) with sheathing materials
 Interior walls are made of wood (2" lumber)

Comments:

- Note: Not all portions of the walls were visible as insulation has been installed for this home.
- Note: Windstorm bracing requirements differ according to location and vary in scope. Windstorm bracing was not evaluated for compliance during this inspection.
- The framing in the front elevation is installed in such a way that it appears the upper level brick will be resting on rafters and roof decking. It is recommended that the framing be cut back to allow the brick load to transfer to the foundation.
- Sheathing penetrations, voids, exposed raw wood, and improper nailing was observed in various locations of the exterior sheathing applications. A complete review of all exterior sheathing recommended and repairs as needed for proper vapor barrier and structural integrity.
- Siding trim is improperly overlapped in the right elevation (soffit transition) near the brick frieze trim. Repairs recommended.
- Nail guards are missing in various locations for plumbing and electrical rough in materials, most notably in the right wall of the garage. A complete review is recommended and repairs as needed to prevent potential for damage during installation of other materials.
- Unsupported splices in the top plate were observed in various locations. Recommend adding studs below these areas.
- Anchors/mud sill straps appear to be improperly spaced in the right wall of the garage and were not visible at the sides of the garage doors. Further evaluation recommended and repairs as needed. Note: A full evaluation of the structure was unable to be performed as insulation is installed during this inspection.
- Wall framing (studs) in the right wall of the garage have complete voids/no bearing to the bottom plate. Repairs recommended for proper support of all framing materials above this location.
- The studs width is improper below a double joist in the garage framing. Studs should be (at minimum) the width of the joist that is supported. Repairs recommended for proper load transfer.
- A drain pipe is installed out of the wall plane in the right wall of the garage and "let-in" bracing is not flush with the studs. Further evaluation recommended and repairs as needed for proper corner support.
- A cripple is missing beneath the left window installed in the lower level (forward left) room. Repairs recommended.
- Cripples are not installed beneath a beam in the upper left wall of the living room framing. Repairs recommended for proper load transfer.
- Studs are not installed beneath the beam at the left side of the fireplace framing. Repairs recommended for proper load transfer.
- The duct installed in the closet of the upper left hall is exposed (missing fur-out materials). Additional framing recommended.
- Framing at the right of the stairs appears incomplete in various locations in both the upper and lower levels of the home. Further evaluation recommended and repairs as needed prior to sheetrock installation.
- Voids are present between cripples and headers in various locations, most notably at the forward window of the upper level game room. Shimming/repairs recommended to prevent potential for excessive settling.
- A stud has been completely compromised at the drain/vent piping for the upper level

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(forward right) bath and "fur out" materials have been added for support. Further evaluation recommended and repairs as needed.



Improperly nailed sheathing with voids and exposed insulation

Left elevation exterior



Improperly secured sheathing with voids

Right elevation exterior



Raw lumber protruding through sheathing

Loose tape with voids

Front elevation gable over porch



Sheathing voids with exposed raw wood

Rear elevation exterior

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Right elevation siding trim



Garage (right wall)



Garage (right wall)



Garage (right wall)

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Left window of lower level (left front) room



Upper left wall of living room



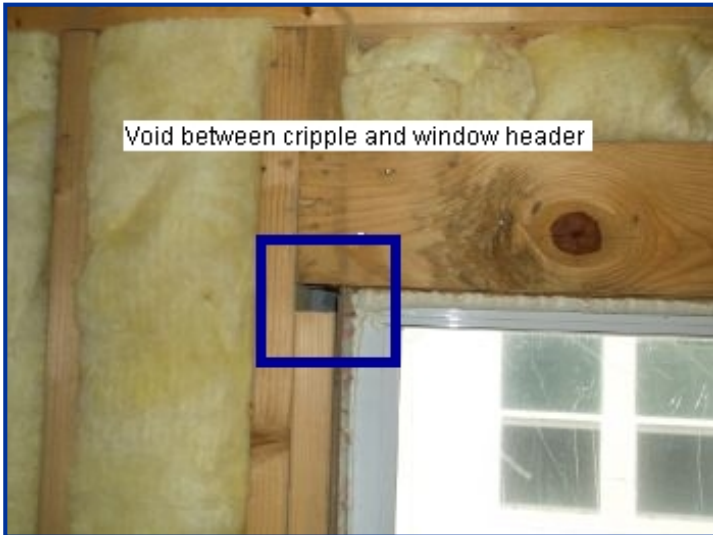
Left side of fire box



Closet in upper level left hall

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I	NI	NP	D
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Upper level game room (forward window)

Upper level (right forward) bath

F. Ceilings and Floors

Ceiling & Floor Materials:

- Ceilings are unfinished 2" lumber and manufactured joists
- No flooring installed

Comments:

- Note: Windstorm bracing requirements differ according to location and vary in scope. Windstorm bracing was not evaluated for compliance during this inspection.
- Note: Some portions of the ceiling framing were not visible as insulation has been installed for this home.
- A void is present in the soffit of the rear porch. Repairs required.
- "Dead wood"/sheetrock nailers are missing in various locations. A complete review of and interior and exterior ceiling corners is recommended and repairs as needed prior to sheetrock installation.
- Joist hangers are not installed for joists over the master closet and master bath commode areas. Repairs recommended for proper load transfer.
- A joist hanger is missing for a joist in the upper (forward left) corner of the living room. Repairs recommended.
- A joist hanger is not installed in the ceiling framing (rear left) of the upper level rear left bedroom. Repairs recommended.
- Joist hangers are not installed (6) for joists above the left side of the overlook in the upper level. Repairs recommended for proper load transfer.
- Various strong back bracing is installed with improper construction and/or improperly blocked and tied at the ends. Further evaluation recommended and repairs as needed.
- Various areas are missing "rat run" framing. Further evaluation recommended and repairs as needed to prevent the potential for joists from "racking" or twisting.
- Joist hangers installed for the attic stair framing are missing nails/fasteners. Repairs recommended.
- Various "floating" beams are installed without proper strut bracing to prevent potential for "racking"/twisting. Repairs recommended.

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NP=Not Present

D=Deficient

I	NI	NP	D
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Rear porch ceiling



Various locations



Master closet



Upper left forward corner of living room

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Missing joist hanger

Upper level (rear left) bedroom



Missing joist hangers

Left side of upper level (overlook hallway)



Joist hanger missing fasteners

Attic stair framing



Improper strongback makeup

G. Doors (Interior and Exterior)

Comments:

- All installed doors were functioning properly during inspection. No significant deficiencies were observed.

H. Windows

Window Types: Double pane/Single hung and Fixed/Aluminum window units are installed

Comments:

- Safety glass etchings were not observed on the glass of the window(s) at the left of the rear door within 24" of the door jamb. This glass is required for windows close to the floor or in hazardous locations and is generally identified by an etching in the corner of the glass pane. Further evaluation recommended and repairs as needed for proper safety.

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I	NI	NP	D
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I. Stairways (Interior and Exterior)

Comments:

- The support framing for the stairs appears inadequate. Stair supports are "toe nailed" into studs and other materials with minimum load transfer to the bottom plate. Further evaluation recommended and repairs as needed.
- Risers were measured with varying heights that exceed the maximum allowance for variance of 3/8" from bottom to top step. Further evaluation recommended and repairs as needed.

J. Fireplaces and Chimneys

Locations: Fireplace is located in the living room
 Types: Heatilator Brand
 Fireplace is prefabricated unit with gas log lighter.

Comments:

- Note: The gas line is not capped. Capping recommended.
- The unit is not secured to the framing. Repairs recommended.

K. Porches, Balconies, Decks, and Carports

Comments:

- The joists supporting the left side of the front porch do not have full bearing on the post below. Repairs recommended for proper load transfer.



Front porch (left post)

L. Other

II. ELECTRICAL SYSTEMS

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A. Service Entrance and Panels
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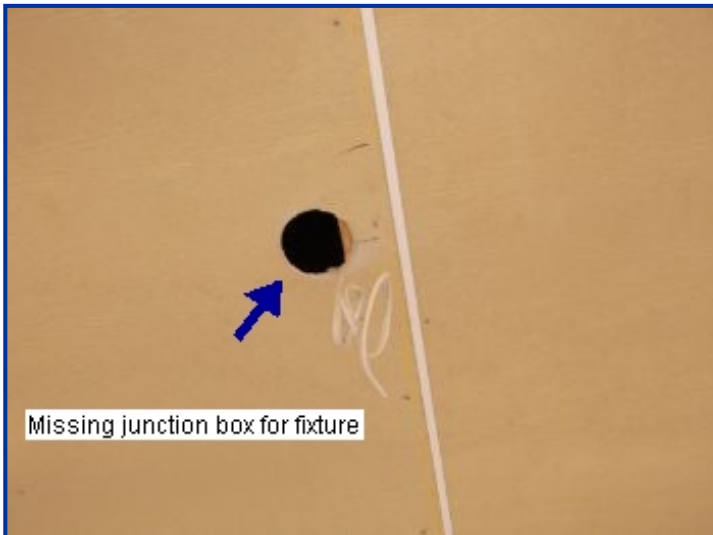
Panel Locations: Not installed
Materials & Amp Rating: Not installed

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Branch Circuits, Connected Devices, and Fixtures
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Type of Wiring: Copper

Comments:

- A junction box is not installed for the rear porch wiring stubbed for a fixture in the center of the ceiling. Repairs recommend.
- Wiring is installed out of the wall plane in the master bath near the rear sink area. Repairs recommended prior to sheetrock installation.
- A switch junction box in the hall outside the master bedroom is unsecured and has no access through framing. Repairs recommended prior to sheetrock installation.
- A junction box is not secured to wall framing in the upper level (left rear) bath. Repairs recommended prior to sheetrock installation.
- Nail guards are missing in various locations, most notably in the right wall of the garage. Repairs recommended prior to sheetrock to prevent potential for damage from the installation of other materials.



Rear porch ceiling electrical stub



Master bath rear sink area (medicine cabinet framing)

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Hall outside master bedroom



Upper level rear left bathroom

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of System: Central Forced Air Systems
 Energy Source: Natural Gas
 First Floor Unit: Lennox Brand Furnace - Model # ML180UH090P48B-53 (88K BTU) manufactured in 2015
 Second Floor Unit: Lennox Brand Furnace- Model # ML180UH090P48B-53 (88K BTU) manufactured in 2015
 Comments:
 • The furnaces appear to be installed and vented properly upon inspection for this stage of construction. No significant deficiencies were observed.

B. Cooling Equipment

Type of System: Central Forced Air Systems
 Lennox Brand Coils - Model #CH35-42C-2F-3 (each)
 Comments:
 • The installed cooling equipment appears to be correct for this stage of construction. No significant deficiencies were observed.

C. Duct System, Chases, and Vents

Comments:
 • Ducts appear to be properly installed for this stage of construction. No significant deficiencies were observed during this inspection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Water Supply System and Fixtures
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Location of Water Meter: Street (left)
 Location of Main Water Supply Valve: Exterior of structure (left side)
 Static Water Pressure Reading: 40 PSI

Comments:

- Note: The master bath and upper level (left) bath tubs are not present/installed during this inspection.
- The main water line is installed at an incorrect depth. Water lines should be installed a minimum of 18" below grade. Repairs recommended.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Drains, Wastes, and Vents
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Comments:

- The drain/vent piping installed in the right wall of the upper level (forward) bath is out of the wall plane and no nail guard is present. Repairs recommended prior to installation of sheetrock.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Water Heating Equipment
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Energy Source: Natural Gas
 Water heaters are located in the lower attic
 Capacity: Two (2) 40 gallon units
 Two (2) Bradford White Brand - Model # M4403S6FBN manufactured in 2015

Comments:

- The flue for the right side unit is incorrectly secured at a joint. Repairs recommended to prevent potential for combustion air leakage into attic once operable.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Right side water heater flue

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Hydro-Massage Therapy Equipment
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Other
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V. APPLIANCES

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A. Dishwashers
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Food Waste Disposers
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Range Hood and Exhaust Systems
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Ranges, Cooktops, and Ovens
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Microwave Ovens
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Mechanical Exhaust Vents and Bathroom Heaters
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Comments:

- Bath fans appear to be properly installed for this stage of construction and ducts appear properly vented to the exterior.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	G. Garage Door Operators
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Dryer Exhaust Systems
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Comments:

• The dryer vent span exceeds the maximum allowed distance for the number of elbows present. The max span is 25' less 5' for every 90 degree elbow and less 2.5' for every 45 degree elbow. Further evaluation recommended and repairs as needed.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I. Other
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VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Swimming Pools, Spas, Hot Tubs, and Equipment
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Outbuildings
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Private Water Wells (A coliform analysis is recommended)
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal (Septic) Systems
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	F. Other
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Report Summary

STRUCTURAL SYSTEMS		
Page 6 Item: C	Roof Covering Materials	<ul style="list-style-type: none">• A rusting nail is protruding from the roofing materials in the (upper) rear elevation roofing application. Repairs recommended to prevent potential for moisture intrusion.
Page 7 Item: D	Roof Structures and Attics	<ul style="list-style-type: none">• Voids are present for the fireplace flue chase and improper materials have been installed as fire blocking. Repairs recommended for proper safety.• Fire blocking is missing in various locations, most notably for the chase at the bottom of the stairs and the chase in the upper level at the right of the stairwell. A complete review of all chases is recommended and repairs as needed for proper safety.• Upper ventilation has not been installed for the front and rear porches that share common walls with the home. Repairs recommended.

Page 9 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> • The framing in the front elevation is installed in such a way that it appears the upper level brick will be resting on rafters and roof decking. It is recommended that the framing be cut back to allow the brick load to transfer to the foundation. • Sheathing penetrations, voids, exposed raw wood, and improper nailing was observed in various locations of the exterior sheathing applications. A complete review of all exterior sheathing recommended and repairs as needed for proper vapor barrier and structural integrity. • Siding trim is improperly overlapped in the right elevation (soffit transition) near the brick frieze trim. Repairs recommended. • Nail guards are missing in various locations for plumbing and electrical rough in materials, most notably in the right wall of the garage. A complete review is recommended and repairs as needed to prevent potential for damage during installation of other materials. • Unsupported splices in the top plate were observed in various locations. Recommend adding studs below these areas. • Anchors/mud sill straps appear to be improperly spaced in the right wall of the garage and were not visible at the sides of the garage doors. Further evaluation recommended and repairs as needed. <p>Note: A full evaluation of the structure was unable to be performed as insulation is installed during this inspection.</p> <ul style="list-style-type: none"> • Wall framing (studs) in the right wall of the garage have complete voids/no bearing to the bottom plate. Repairs recommended for proper support of all framing materials above this location. • The studs width is improper below a double joist in the garage framing. Studs should be (at minimum) the width of the joist that is supported. Repairs recommended for proper load transfer. • A drain pipe is installed out of the wall plane in the right wall of the garage and "let-in" bracing is not flush with the studs. Further evaluation recommended and repairs as needed for proper corner support. • A cripple is missing beneath the left window installed in the lower level (forward left) room. Repairs recommended. • Cripples are not installed beneath a beam in the upper left wall of the living room framing. Repairs recommended for proper load transfer. • Studs are not installed beneath the beam at the left side of the fireplace framing. Repairs recommended for proper load transfer. • The duct installed in the closet of the upper left hall is exposed (missing fur-out materials). Additional framing recommended. • Framing at the right of the stairs appears incomplete in various locations in both the upper and lower levels of the home. Further evaluation recommended and repairs as needed prior to sheetrock installation. • Voids are present between cripples and headers in various locations, most notably at the forward window of the upper level game room. Shimming/repairs recommended to prevent potential for excessive settling. • A stud has been completely compromised at the drain/vent piping for the upper level (forward right) bath and "fur out" materials have been added for support. Further evaluation recommended and repairs as needed.
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Page 12 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> • A void is present in the soffit of the rear porch. Repairs required. • "Dead wood"/sheetrock nailers are missing in various locations. A complete review of and interior and exterior ceiling corners is recommended and repairs as needed prior to sheetrock installation. • Joist hangers are not installed for joists over the master closet and master bath commode areas. Repairs recommended for proper load transfer. • A joist hanger is missing for a joist in the upper (forward left) corner of the living room. Repairs recommended. • A joist hanger is not installed in the ceiling framing (rear left) of the upper level rear left bedroom. Repairs recommended. • Joist hangers are not installed (6) for joists above the left side of the overlook in the upper level. Repairs recommended for proper load transfer. • Various strong back bracing is installed with improper construction and/or improperly blocked and tied at the ends. Further evaluation recommended and repairs as needed. • Various areas are missing "rat run" framing. Further evaluation recommended and repairs as needed to prevent the potential for joists from "racking" or twisting. • Joist hangers installed for the attic stair framing are missing nails/fasteners. Repairs recommended. • Various "floating" beams are installed without proper strut bracing to prevent potential for "racking"/twisting. Repairs recommended.
Page 15 Item: H	Windows	<ul style="list-style-type: none"> • Safety glass etchings were not observed on the glass of the window(s) at the left of the rear door within 24" of the door jamb. This glass is required for windows close to the floor or in hazardous locations and is generally identified by an etching in the corner of the glass pane. Further evaluation recommended and repairs as needed for proper safety.
Page 15 Item: I	Stairways (Interior and Exterior)	<ul style="list-style-type: none"> • The support framing for the stairs appears inadequate. Stair supports are "toe nailed" into studs and other materials with minimum load transfer to the bottom plate. Further evaluation recommended and repairs as needed. • Risers were measured with varying heights that exceed the maximum allowance for variance of 3/8" from bottom to top step. Further evaluation recommended and repairs as needed.
Page 15 Item: J	Fireplaces and Chimneys	<ul style="list-style-type: none"> • The unit is not secured to the framing. Repairs recommended.
Page 15 Item: K	Porches, Balconies, Decks, and Carports	<ul style="list-style-type: none"> • The joists supporting the left side of the front porch do not have full bearing on the post below. Repairs recommended for proper load transfer.

ELECTRICAL SYSTEMS

Page 16 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • A junction box is not installed for the rear porch wiring stubbed for a fixture in the center of the ceiling. Repairs recommend. • Wiring is installed out of the wall plane in the master bath near the rear sink area. Repairs recommended prior to sheetrock installation. • A switch junction box in the hall outside the master bedroom is unsecured and has no access through framing. Repairs recommended prior to sheetrock installation. • A junction box is not secured to wall framing in the upper level (left rear) bath. Repairs recommended prior to sheetrock installation. • Nail guards are missing in various locations, most notably in the right wall of the garage. Repairs recommended prior to sheetrock to prevent potential for damage from the installation of other materials.
PLUMBING SYSTEMS		
Page 18 Item: A	Water Supply System and Fixtures	<ul style="list-style-type: none"> • The main water line is installed at an incorrect depth. Water lines should be installed a minimum of 18" below grade. Repairs recommended.
Page 18 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> • The drain/vent piping installed in the right wall of the upper level (forward) bath is out of the wall plane and no nail guard is present. Repairs recommended prior to installation of sheetrock.
APPLIANCES		
Page 20 Item: H	Dryer Exhaust Systems	<ul style="list-style-type: none"> • The dryer vent span exceeds the maximum allowed distance for the number of elbows present. The max span is 25' less 5' for every 90 degree elbow and less 2.5' for every 45 degree elbow. Further evaluation recommended and repairs as needed.