

Punch Inspection Services

Property Inspection Report



1234 Elm Street, Spring, TX 77373
Inspection prepared for: Client Jane
Date of Inspection: 2/4/2016 Time: 9:00 am
Age of Home: 1979 Size: 1596 sq/ft
Weather: Clear
House faces: Northeast
Temperature at arrival: 38 Degrees
Present at inspection: Client/Agent
Occuancy: Vacant

Inspector: Michael Missler
TREC License #8902
Phone: 281-802-6567
Email: mike@punchtexas.com
www.punchtexas.com



PROPERTY INSPECTION REPORT

Prepared For:	Client Jane	
	(Name of Client)	
Concerning:	1234 Elm Street, Spring TX, 77373	
	(Address or Other Identification of Inspected Property)	
By:	Michael Missler, TREC License #8902	2/4/2016
	(Name and License Number of Inspector)	(Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
<http://www.trec.texas.gov>.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

PROPERTY INSPECTION AGREEMENT

Client - _____

REI 7-5 (05/4/2015)

Property Street Address - _____

In consideration of the inspection fee of \$ _____ paid by Client to Inspector, the receipt and sufficiency of which is hereby acknowledged by Inspector, and pursuant to this Property Inspection Agreement (this "Agreement"), Punch Inspection Services (the "Inspector"), agrees to conduct an inspection for the purpose of informing Client of major deficiencies in the condition of certain improvements located on the Property described above. The written report produced by the Inspector regarding the Property is the confidential property of the Inspector and Client and shall not be copied, reproduced, used by, transferred to, or relied upon by any other person or company without both the Inspector's and Client's prior written consent.

1. **PURPOSE AND SCOPE OF INSPECTION.** The purpose of this one-time inspection is to identify and disclose visually observable major deficiencies of the inspected systems and items at the time of the inspection only. A system or component has a major defect if it is unsafe or not functioning and cannot be replaced or rendered safe or functional for less than \$1,000. The following items are **not** covered in the scope of the inspection: Any area that is not exposed to view, is concealed, or is inaccessible because of soil, walls, wall coverings, floors, floor coverings, ceilings, insulation, furnishings, stored items, built-in cabinets or shelves, etc., or those areas/items that have been excluded by the TREC standards, as well as detached buildings, fences and gates, landscaping, elevators, lifts, dumbwaiters, media equipment, telephone equipment, security equipment, intercoms, water treatment devices, thermostatic or time clock controls, radiant heat systems, solar heating systems, furnace heat exchangers, alarm systems, draperies, blinds, shutters, hardware, formica, marble, tile floors, wall coverings, air conditioning systems when outside temperature is below sixty (60) degrees, refrigerant and condensate leaks, drains, sprinkler systems in automatic mode or when outside temperature is below thirty-two (32) degrees, landscape lighting, sewer lines, septic systems, water wells, solar heating systems, water conditioning systems, and low voltage lighting. Regarding pools, hot tubs, saunas, steam baths, ponds, and fountains, only above-ground portions of such improvements are inspected, provided, however, that freeze protection equipment and anti-siphon equipment are not inspected. The inspection and report do not address, and are not intended to address, code and regulation compliance (all code references are for educational purposes only), the possible presence of or danger from asbestos, radon gas, lead paint, urea formaldehyde, soil contamination, microwave radiation, electromagnetic fields, microbiological organisms and other indoor and outdoor substances, mold, underground storage tanks, proximity to toxic wastes, zoning ordinances, flood plain location, geological stability of soils, wood destroying insects, dry rot, fungus, or household pests. Client is urged to contact a competent specialist if information, identification, or testing of the above is desired. Many homes have excessive moisture issues that might lead to mold growth, but the ability to detect the presence of mold is beyond the scope of this inspection. If you are concerned about the presence of mold, you are strongly urged to consult with a qualified professional microbiologist or mold inspector prior to purchasing the Property. Inspector is not required to inspect areas which may contain, in Inspector's sole discretion, materials hazardous to the health and/or safety of the Inspector's personnel.

2. **NO WARRANTIES OR GUARANTIES.** This inspection is not intended to be technically exhaustive, nor is it considered to be a guarantee or warranty, expressed or implied, regarding the conditions of the property, items and systems inspected, and it should not be relied on as such. The inspection may include the use of infrared camera/digital camcorders, which can capture infrared and digital images. The use of this additional advanced equipment is for the benefit of the Client; provided, however, that latent and concealed defects and deficiencies are excluded from the inspection, and Inspector in no way purports to perform any service beyond the standard "visual inspection" of the Property. **CLIENT IS HEREBY NOTIFIED THAT THE INSPECTOR HAS NOT MADE, DOES NOT MAKE, AND HEREBY DISCLAIMS ANY WARRANTIES OR GUARANTEES, EXPRESSED OR IMPLIED, REGARDING THE ADEQUACY, PERFORMANCE, OR CONDITION OF ANY STRUCTURE, ITEM, COMPONENT, OR SYSTEM INSPECTED, SPECIFICALLY INCLUDING (BUT NOT LIMITED TO), ANY IMPLIED WARRANTIES OF FITNESS, MERCHANTABILITY, HABITABILITY AND GOOD AND WORKMANLIKE CONDUCT.** Client is advised that property owner warranties are available through third-party providers if warranties are desired. The price of the inspection does not include any such warranties, and none are offered or available through the Inspector. The Inspector shall not be held responsible or liable for any repairs or replacements with regard to the Property or the systems, components, or contents therein. Since the inspection procedure is visual only and is not intended or designed to be diagnostically and/or technically exhaustive, an inherent risk remains that undiscovered problems exist and/or future problems will develop. Client acknowledges that the Inspector is not an insurer and it is not the intent and/or purpose of this inspection procedure to provide client with a risk free purchase or usage of the Property.

3. **LIMITATION OF LIABILITY.** Since the inspection is primarily a visual inspection, it is not possible to eliminate all risks involved in the purchase and/or ownership of the Property. **CLIENT AGREES, TO THE FULLEST EXTENT PROVIDED BY LAW, THAT CLIENT'S SOLE AND EXCLUSIVE REMEDY FOR ANY AND ALL LOSSES OR DAMAGES SUSTAINED BY CLIENT RELATING TO THIS AGREEMENT OR THE INSPECTION OR REPORT PROVIDED PURSUANT HERETO, INCLUDING ATTORNEYS' FEES AND COSTS AND EXPERT WITNESS FEES AND COSTS, IS LIMITED SO THAT THE TOTAL AGGREGATE LIABILITY OF THE INSPECTOR (OR INSPECTOR'S EMPLOYEES OR ASSIGNEES) SHALL NOT EXCEED THE AMOUNT OF THE FEE PAID BY CLIENT TO INSPECTOR FOR THE INSPECTION AND REPORT.** This limitation shall apply regardless of the cause or the legal theory pled or asserted specifically including, but not limited to, negligence and shall control the amount of any award against the Inspector. Unless Inspector is found to be grossly negligent, Inspector shall have no liability with respect to Inspector's obligations under this Agreement or otherwise for consequential, exemplary, special, incidental, or punitive damages even if Inspector has been advised of the possibility of such damages.

4. **TAINTED, CORROSIVE DRYWALL.** From approximately 1999 until today, some homes in Texas were reportedly built or renovated using tainted drywall imported from China ("Tainted, Corrosive Drywall"). Tainted, Corrosive Drywall may emit toxic levels of Hydrogen Sulfide (H₂S), iron disulfide, strontium sulfide, carbon disulfide, carbonyl sulfide, formaldehyde, sulfur dioxide, and/or sulfur trioxide causing corrosion of copper and metal surfaces, including air

conditioner coils, refrigerator coils, copper tubing, and electrical wiring, and it often creates noxious odors which may pose health risks. Tainted, Corrosive Drywall has most commonly been reported in houses built or renovated/remodeled after 2000 in 42 out of the nation's 50 states. Additional information concerning Tainted, Corrosive Drywall can be found at: <http://www.cpsc.gov/info/drywall/index.html>; <http://www.constructionguru.com>; and <http://chinesedrywallcomplaintcenter.com>. By signing this Agreement, Client acknowledges that this Inspection will not reveal the existence of Tainted, Corrosive Drywall and/or damages to the Property which may have resulted from Tainted, Corrosive Drywall. In order to determine the existence of Tainted, Corrosive Drywall and related damages, it is recommended that an inspection be scheduled with a drywall specialist.

5. **NOTIFICATION OF DISPUTES REQUIRED/ARBITRATION OF DISPUTES.** Client shall notify Inspector in writing of any controversy or claim related to this Agreement, the inspection or the inspection report within ninety (90) days after the date of this Agreement, and all disputes not submitted to Inspector within such time shall be deemed waived by Client, and Client hereby releases, acquits, and forever discharges Inspector from such claims, and all related causes of action and damages, not submitted to Inspector within said ninety (90) day period. In order to provide Inspector with an opportunity to investigate and resolve any such claim, Client shall not commence any arbitration or other legal proceeding relating to such claim for a period of thirty (30) days after Inspector's receipt of written notice of the claim. If, with respect to a controversy or claim related to this Agreement, the inspection or the inspection report, Client and Inspector are unable to reach a mutually satisfactory resolution within said thirty (30) day period, such dispute shall be settled by binding arbitration administered by the American Arbitration Association under its construction industry arbitration rules; provided, however, that if such claim is made by Client, Client shall satisfy the requirements of Section 5 hereof prior to submitting such claim to arbitration. Only TREC licensed real estate inspectors will be eligible to serve as the arbitrator. Judgment upon the award rendered by an arbitrator may be entered in any court having jurisdiction thereof. In any arbitration or other legal action in which the Inspector is the prevailing party or is not found liable, Inspector shall recover from Client any attorney's fees and costs incurred by Inspector in defense of the proceeding. **NOTICE TO CONSUMERS AND SERVICE RECIPIENTS:** A recovery fund is available for aggrieved persons through the Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78871-2188, 800-250-8732 or 512-459-66544, <http://www.trec.state.tx.us>.

6. **CERTIFICATE OF MERIT.** Client shall make no claim, including without limitation any claim of professional negligence, against Inspector unless Client has first provided Inspector with a written certification executed by an independent Texas Licensed Professional Real Estate Inspector currently practicing in the field of residential inspections in the Greater Houston, Texas area for homebuyers. The certification shall: a) contain the name and license number of the certifier; b) specify the acts or omissions of the Inspector that the certifier contends are not in conformance with the standard of care for a Licensed Professional Real Estate Inspector performing a home inspection under similar circumstances; and c) state in detail the basis for the certifier's opinion that such acts or omissions do not conform to the standard of care. This certificate shall be provided to the Inspector not less than twenty (20) days prior to the presentation of any claim, or the institution of any arbitration or legal proceeding by Client. This certificate of merit requirement will take precedence over any existing state law in force at the time of the claim or demand for arbitration.

7. **INDEMNITY.**

CLIENT AGREES TO INDEMNIFY, DEFEND, AND HOLD HARMLESS INSPECTOR, ITS PARTNERS, OFFICERS, EMPLOYEES, ATTORNEYS, AND AGENTS, AND TO DEFEND ANY ACTION BROUGHT AGAINST ANY SUCH PARTIES, WITH RESPECT TO ANY AND ALL CLAIMS, DEMANDS, CAUSES OF ACTION, DEBTS OR LIABILITIES, INCLUDING REASONABLE ATTORNEYS' FEES, ARISING OUT OF OR RELATING TO THIS AGREEMENT, WHETHER OR NOT RESULTING FROM THE NEGLIGENCE OF ANY PARTY SO INDEMNIFIED, UNLESS CAUSED BY THE GROSSLY NEGLIGENT ACTIONS OR INTENTIONAL MISCONDUCT OF INSPECTOR.

8. **MISCELLANEOUS.** Any particular concern of Client regarding the Property shall be brought to the attention of the Inspector before the inspection begins. All written comments by the Inspector shall supersede oral comments. The inspection report is valid for the date and time of the inspection only. Re-inspection charges will apply for any additional trips to the Property. Client agrees that if he/she is not in receipt of the written inspection report on this Property within 48 hours of the date and time of the inspection, Client will contact the Inspector in writing to inform him that the inspection report has not been received. The invalidity, illegality, or unenforceability of any provision contained in this Agreement shall not affect any other provision hereof, and this Agreement shall be construed as is such invalid, illegal or unenforceable provision has never been contained herein. **THIS AGREEMENT SHALL BE GOVERNED BY AND CONSTRUED IN ACCORDANCE WITH THE LAWS OF THE STATE OF TEXAS. VENUE FOR ANY DISPUTE ARISING IN CONNECTION HERewith IS EXPRESSLY DECLARED TO BE IN HARRIS COUNTY, TEXAS.** This Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, executors, administrators, legal representatives, successors and assigns where permitted by this Agreement. This Agreement may not be assigned by Client without Inspector's prior written consent. To the extent that the inspection report issued by the Inspector conflicts with the terms of this Agreement, the terms of this Agreement shall control. This Agreement shall be included as an addendum to the inspection report issued by the Inspector related to the Property. Any notice which is required or desired under this Agreement shall be given in writing and may be sent by personal delivery or by mail (either a. United States mail, postage prepaid, or b. Federal Express or similar generally recognized overnight carrier), addressed as follows (subject to the right to designate a different address by notice similarly given): if to Inspector, Punch Inspection Services, 29627 Spring Forest Drive, Spring, TX 77386; if to Client, to the address set forth hereinbelow. Punch Inspection Services is accepting a fee or other valuable consideration from Bulldog Security Services Inc. in this real estate transaction. By accepting this inspection agreement, Client acknowledges that Client has been informed of this arrangement between Inspector and Bulldog Security and authorizes Bulldog Security to call Client at the phone number provided to inspect the alarm system and discuss an alarm system offer.

The undersigned Client hereby executes this Property Inspection Agreement on this the _____ day of _____, 2016.

CLIENT:

- _____

(Signature)

(Printed Name)

forwarded to _____.

(Current Address)

I would like a copy of the inspection report
forwarded to my REALTOR.
(Please check box, if applicable.)

I would like a copy of the inspection report
forwarded to _____.
(Please check box, if applicable.)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Foundations
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Type of Foundation(s): Slab on Grade

A visual inspection of the foundation was performed for surface deficiencies.

Comments:

- In my opinion the foundation is performing as intended. No significant problems were observed.
- Note: Surface deterioration (known as spalling) was observed on the exterior corners of the exposed foundation walls. This condition is common in many homes and does not usually represent a structural concern.
- Note: Prior foundation repairs are evident. Recommend review of any warranty coverage that may accompany these repairs.
- Exterior foundation cracks were observed. This implies that structural movement of the building has occurred. The rate of movement cannot be predicted during a one-time inspection. A foundation specialist should be consulted to further evaluate this condition and the remedies available for correction as needed.



Foundation wall crack

Front elevation



Prior repairs/patching on foundation wall

Left elevation of structure

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. Grading and Drainage
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Comments:

- All areas of the home appear to have positive drainage at this time.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Roof Covering Materials
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Type(s) of Roof Coverings: Asphalt composition shingle

Viewed From: Roof

Comments:

- Note: Prior repairs are present in the front elevation valley.
- Note: The roof application appears to be an overlay to the original installation.
- Repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary by a licensed and qualified roofing technician.
- A satellite dish is installed directly on the roofing materials. Regular monitoring is recommended to prevent potential for water intrusion.
- Moss/organic growth is present on roofing materials in several locations. Further evaluation recommended and repairs/removal as needed.
- Exposed/rusty nail-heads are present in various locations of the roofing application and some nails are driven directly on shingles in some locations, most notably in the front elevation. Repairs/maintenance recommended.
- Shingle damage was observed in various locations (see photos), repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary.



Front elevation roofing application



Roofing application (repair)

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I	NI	NP	D
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Front elevation ridge/hip transition over garage

X			X
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D. Roof Structures and Attics

Approximate Average Depth of Insulation: 4 to 6 inches

Approximate Average Thickness of Vertical Insulation: 3 1/2 inches

Comments:

- Viewed From: Attic
- Ventilation observed: Soffit, Turbines (2), and mechanical (1)
- Note: Proper function of mechanical vent was not determined.
- Deflections/humps are present in the left elevation roof structure. Further evaluation recommended and repairs if/as needed.
- Today's building standard's call for a 24" wide continuous attic service walkway and 30" wide service area to all mechanical equipment in attic. Recommend updating.
- The roof rafters are 2x6 members and the purlin braces are 2x4 members. Today's standards require the purlin braces to be the same size of the rafters. Repairs/updates recommended.
- The roof rafters do not have adequate support in various locations (every other rafter). Purlin struts are not adequately spaced for current standards. Repairs/updates recommended.
- Wood rot/water damage is present at decking materials over the front porch. Repairs recommended.
- Insulation levels are inadequate by today's standards and insulation is missing in various locations. Further evaluation recommended and repairs/updates as desired.

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I NI NP D



Decking at eave above front porch

E. Walls (Interior and Exterior)

Wall Materials: Exterior walls are made of brick and wood siding
Interior walls are made of sheetrock and wood trim

Comments:

- Note: Prior repairs are present in some locations of interior/exterior walls.
- Wood rot/water damage was observed on the exterior wood siding and trim in various locations. Repairs should be undertaken to prevent further damage.
- The overhang of the brick at the foundation wall, also known as corbelling was observed in the front and left elevations. This could lead to some instability of the brickwork. If movement occurs, re-supporting the brick would be advisable.
- Pronounced exterior wall cracks were observed, most notably in the right elevation masonry application. This implies that structural movement of the building has occurred. The rate of movement cannot be predicted during a one-time inspection. A structural specialist should be consulted to further evaluate this condition and the remedies available for correction.
- Vegetation is in contact with exterior walls. It is recommended vegetation be cut back at least 6 inches from exterior walls.
- Caulking voids are present around window frames in some locations. Repairs/sealing recommended to prevent potential for moisture/water intrusion.
- The false shutters (left) are damaged. Repairs may be desired.
- Damaged sheetrock is present in some locations, most notably in the garage. Repairs recommended.
- Wood rot/water damage is present at the window (right) in the breakfast/dining room. Further evaluation recommended and repairs as needed.
- Minor sheetrock cracks were observed in the house and garage. This condition is mainly cosmetic in nature. Repairs may be desired.
- Water stains/damage was observed at the right of the sliding glass doors. The cause for the damage should be determined and repairs should be undertaken to prevent further damage as needed.
- Observed anomalous temperature signatures with IR imaging in various locations (see photos). Further investigation is recommended and repairs should be undertaken if necessary.

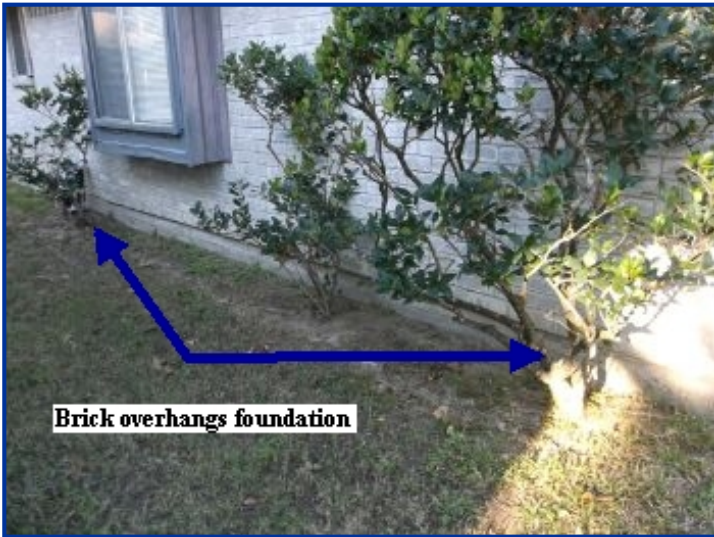
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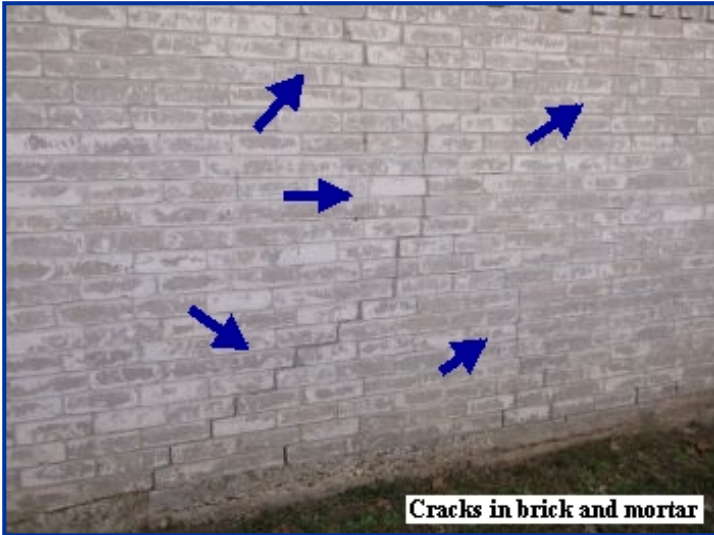
Brick overhangs foundation

Left elevation masonry application



Wood rot/water damage in/on window trim

Left elevation box window



Cracks in brick and mortar

Right elevation masonry application



Rotten siding/damaged wall materials

Rear elevation (left) beneath window

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I	NI	NP	D
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Living room (right) upper wall



Living room (left) rear upper wall/ceiling



Living room (left) forward upper wall/ceiling



Front porch (left)

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I	NI	NP	D
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Wood rot/water damage

Sill of breakfast window (right)



Staining/water damage

Wall right of sliding glass doors

F. Ceilings and Floors

Ceiling & Floor Materials:

- Ceiling is made of sheetrock
- Flooring composition(s): wood, vinyl and carpet

Comments:

- Note: Previous repairs were evident in the house, most notably in the living room, and forward right bedroom ceilings.
- Sheetrock is damaged in some locations, most notably in the garage (left wall). Repairs recommended.
- Minor settlement cracks were observed in the ceilings inside the home and garage. This condition is mainly cosmetic in nature. Repairs may be desired.
- The carpeting in the living room is loose, most notably at the rear wall (right). Repairs recommended.
- Water staining was observed in the closet of the forward (right) bedroom. The cause for the staining should be determined and repairs undertaken, if necessary, to prevent further damage.
- Floor slopes are present in the left (rear) bedroom. This condition could indicate movement within the structure. Further investigation may be necessary.
- Stains were noted on the carpet. Cleaning may be desired.
- Observed anomalous temperature signatures with IR imaging in some locations (see photos). Further investigation is recommended and repairs should be undertaken if necessary.

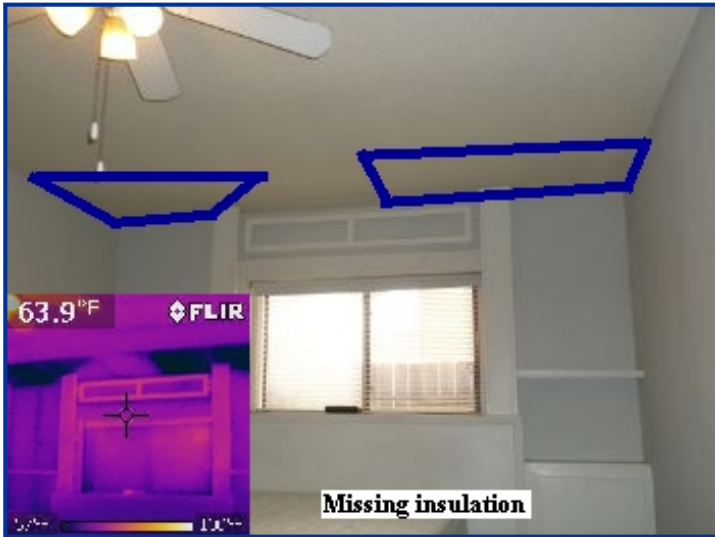
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Missing insulation

Master bedroom (right) ceiling



Water staining

Closet of forward (right) bedroom

X			X
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G. Doors (Interior and Exterior)

Comments:

- The jamb of the garage/house door is damaged. Repairs recommended as needed.
- Doors in the home are rubbing on their jambs/floors in some locations, most notably in the master bath and pantry. Adjustments/repairs recommended.
- Doors in the home are not latching properly in various locations. Adjustments/repairs recommended.
- Door stops are missing in various locations. Door stops should be installed at all doors to prevent damage to the walls.
- The attic pull-down stair treads are loose and the frame does not have sufficient fasteners installed. Adjustments/repairs recommended for improved safety.
- The front door deadbolt is key operated from the interior of the home. Exterior door dead bolts should not be keyed from the inside. This creates a fire egress safety concern. Repairs recommended for improved safety.
- The

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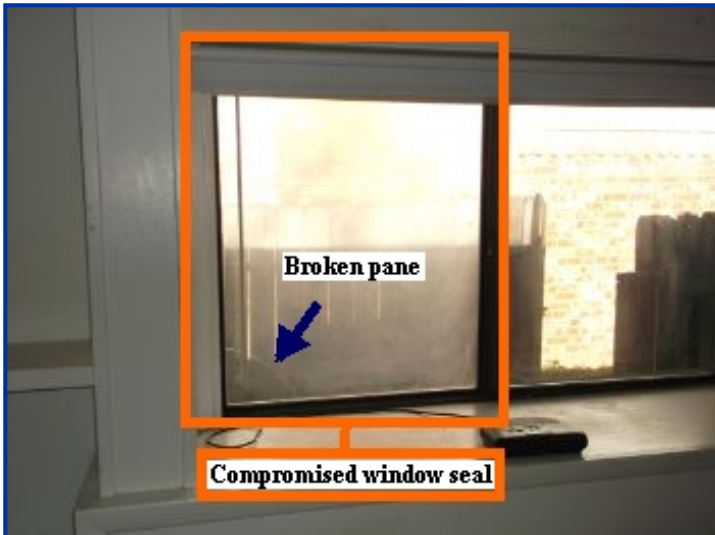
I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Windows
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Window Types: Double and Single pane/Single Hung, Horizontal Sliding, and Fixed Glass/Aluminum window units are installed.

Comments:

- Missing and/or damaged screens are present. Repairs and/or replacements recommended.
- Broken/cracked glass is present in some windows, most notably in the master bedroom and forward (left) bedroom. Repairs recommended.
- The rear window pane in the master bedroom has lost its seal. This has resulted in a cloudy film developing between the panes of glass and can cause the glass to lose its insulating properties. Replacement recommended.
- Safety glass etchings were not observed on the glass of the window(s) at the front door and the glass above the dog door in the rear of the living room. This glass is required for windows close to the floor or in hazardous locations and is generally identified by an etching in the corner of the glass pane. Repairs recommended for improved safety.
- Loose and damaged window glazings are present. Repairs recommended as needed.



Master bedroom



Front bedroom (left)

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I. Stairways (Interior and Exterior)
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J. Fireplaces and Chimneys
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Locations: Fireplace is located in the living room.

Types: Fireplace is masonry construction.

Comments:

- The fireplace firebox has cracks in the mortar and voids in various locations. Repairs recommended for improved safety.
- Significant creosote build-up was noted in the fireplace flue and/or firebox. Cleaning of these areas is recommended for improved safety.

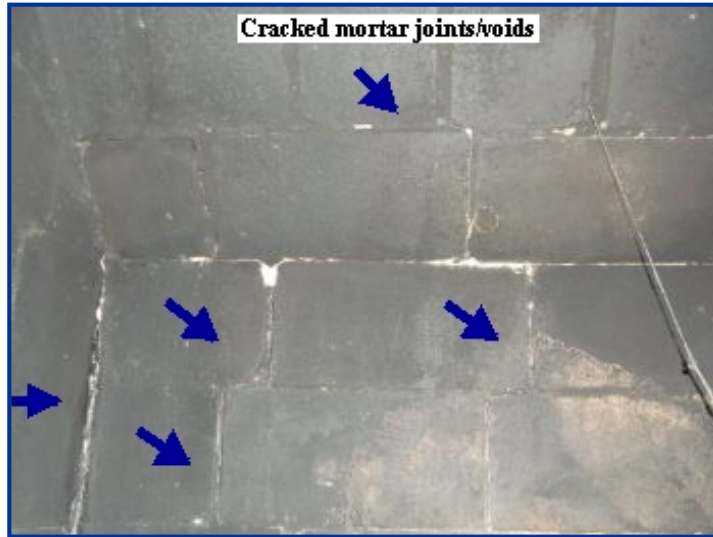
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Fireplace firebox

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	K. Porches, Balconies, Decks, and Carports
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. Other
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Materials: Driveway

Comments:

- Sections of the lead walk/driveway have encountered cracking/differential movement (displacement) and a trip hazard is present. Repairs recommended for proper safety.

II. ELECTRICAL SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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X			X	A. Service Entrance and Panels
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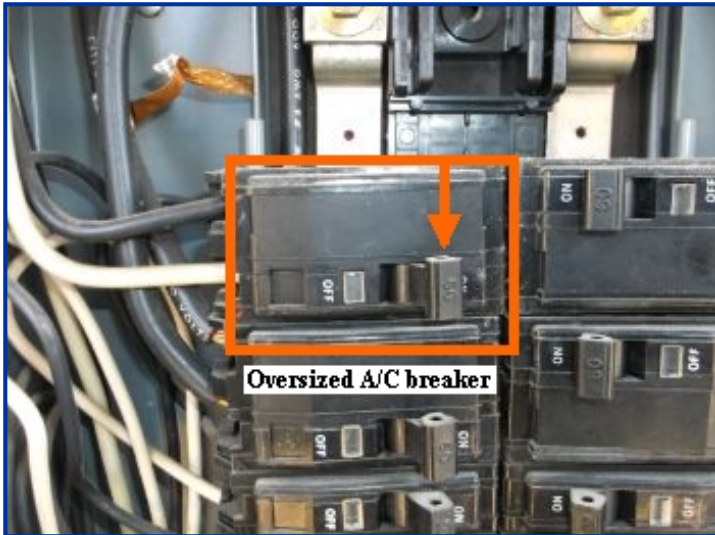
Panel Locations: Electrical panel is located on the rear of the structure

Materials & Amp Rating: Aluminum wiring

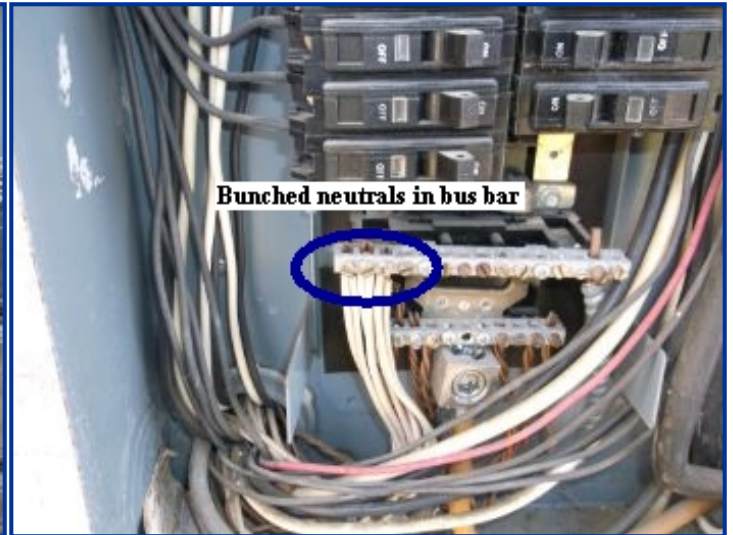
60amp Square D Brand

Comments:

- Antioxidant mastic is not applied to the aluminum main service feed wires to prevent oxidation. Repairs recommended.
- The electrical service panel is not properly labeled. Various breaker designations were unable to be evaluated for proper amperage to equipment/appliances/circuits. Review recommended.
- The electrical service appears to be undersized for this (all electric) house. Further evaluation recommended and repairs if/as needed.
- The breaker serving the A/C is over sized (60amp), the manufacture rates a maximum breaker size of 40amps. Replacing the breaker is recommended.
- Neutral wires within the main distribution panel that are bunched together on the neutral bus bar should be separated. Each wire should be served by a separate screw. Repairs recommended.
- Wiring in the panel appears to be overheating when observed with IR equipment. Further evaluation recommended and repairs if/as needed.



Main panel



Main panel

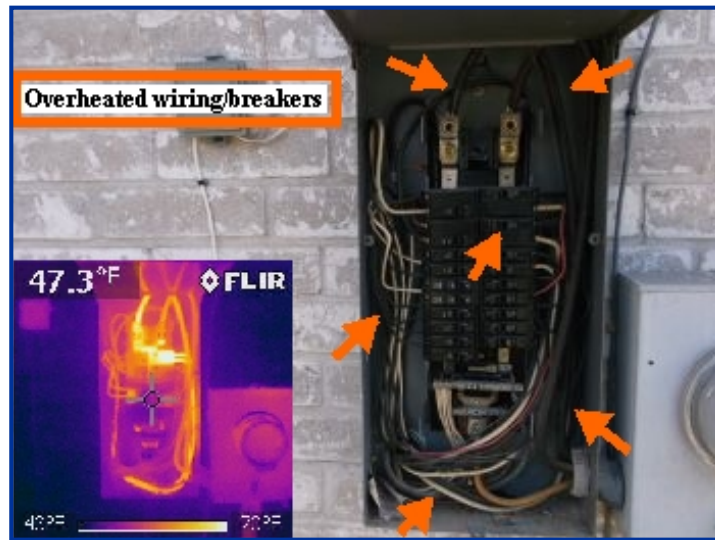
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Main service panel/breakers/wiring

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Branch Circuits, Connected Devices, and Fixtures
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Type of Wiring: Copper

Comments:

- Note: Existing smoke detectors are not tested for proper function. Further evaluation recommended for proper safety. Current standards require smoke detectors in all rooms deemed sleeping quarters and adjacent hallways.
- Note: Arc faults are not installed in the home. Current standards call for arc fault protection on outlets in living areas. Recommend updating to these standards.
- Note: Current standards call for ground fault protection on outlets installed in wet areas and/or adjacent- IE: Exterior, Kitchen, Baths, and all other optional circuits (whirlpool tub, pool, etc...). Upgrades recommended for improved safety.
- Due to the defects observed, recommend a complete evaluation of all electrical circuits, branch wiring, switches, outlets and fixtures by licensed electrical professional.
- Proper bonding was not observed on copper water piping. Further evaluation recommended and repairs as needed for improved safety.
- Ground fault circuit interrupter (GFCI) should be installed in all wet areas including all kitchen/ wet bars, all exterior, all bathrooms and the garage outlets by todays standards. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution. Updating recommended for improved safety.
- The GFCI outlet in the master bath is not tripping when engaged with a circuit tester. Replacement recommended for improved safety.
- Light fixtures in clothes closets have exposed bulbs. Fixtures globes should be installed for fire prevention purposes.
- Light fixture(s) in/on the home is/are inoperable, most notably in the front exterior and over the master tub/shower. If the bulb(s) are not defective, the circuit should be investigated and repaired as needed for proper operation.
- An outlet is not installed at the front porch. Current standards require a minimum of one outlet for the front and rear elevations. Updating may be desired.
- The garage door operator is powered with an extension cord. Permanent fixture are required to be hard wired or have accessible outlets. Repairs recommended.
- An electrical disconnect is not supplied for the electric water heater. Updating recommended.
- Dielectric fittings do not appear to be installed for the water heater supply/discharge lines. Repairs recommended for improved safety.
- Conductors for the water heater are not properly enclosed in conduit at the unit and wiring is accessible. Repairs recommended for improved safety.
- The conductor for the disposal is not secured at the clamp. Repairs recommended for improved safety.
- The fan/lights in the dining/breakfast room were unable to be operated with normal controls. Repairs recommended for proper operation.
- Exposed wiring is present in the master bedroom. Accessible wiring should be installed in conduit. Repairs recommended for improved safety.
- The outlet installed in the right wall of the forward (left) bedroom has no cover plate installed. Repairs recommended.
- Outlets in the home are loose in some locations. Repairs recommended.
- Expose wire splices are present in various locations of the attic, most notably for the power attic fan, over the front porch, above the forward wall of the living room (left side), and at the attic light. Repairs recommended for improved safety.
- The attic light is not secured to its junction box. Repairs recommended.
- Smoke detectors are not installed in all bedrooms and halls. Current standards require smoke detectors in all rooms deemed sleeping quarters and adjacent hallways.

I=Inspected

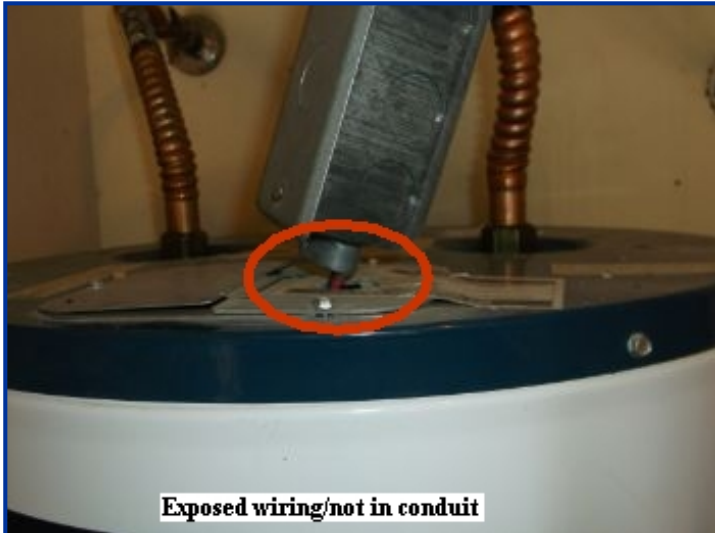
NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Recommend updating to these standards.



Exposed wiring/not in conduit

Conductor for water heater



Exposed bulb fixture

Various locations



Exposed wiring/not in conduit

Master bedroom



Unsecured fixture/exposed wiring/splices

Attic light

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Attic above front porch

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Heating Equipment
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Type of System: Central Forced Air System

Energy Source: Electric

Comments:

- Note: It is recommend that the heating system be completely serviced before each heating season. Filters should be changed as needed. Checking humidifiers, electric air filters and proper airflow is not included in this inspection. Only the emergency heat is checked on heat pump systems when the outside temperature is above 80 degrees.
- The heater appeared to be operating properly during this inspection. No significant deficiencies were observed.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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B. Cooling Equipment

Type of System: Central Forced Air System
 Single Zone System
 Goodman Brand Coils - Model # (undetermined)
 Goodman Brand Condenser - Model # GSC130421AA manufactured in 2006
 Comments:

- Note: It is recommend the AC unit be completely serviced before each cooling season and the condensate drain flushed with chlorine bleach every 2 months during the cooling season to prevent clogging. Air conditioning units are not operated when the outside temperature is below 60 degrees because of possible damage to the compressor unit.
- The A/C equipment was visually inspected but not operated due to the ambient exterior temperature below 60 Degrees. Operating the equipment at these temperatures has the potential to cause damage to the unit.
- The compressor/condenser is not secured to its pad. Securing recommended to ensure against movement due to vibrations during operation.
- Evidence of moisture is present in the condensate drain pan beneath the coil box. This could be an indication of issues with the primary drain. Further evaluation recommended and repairs if/as needed.

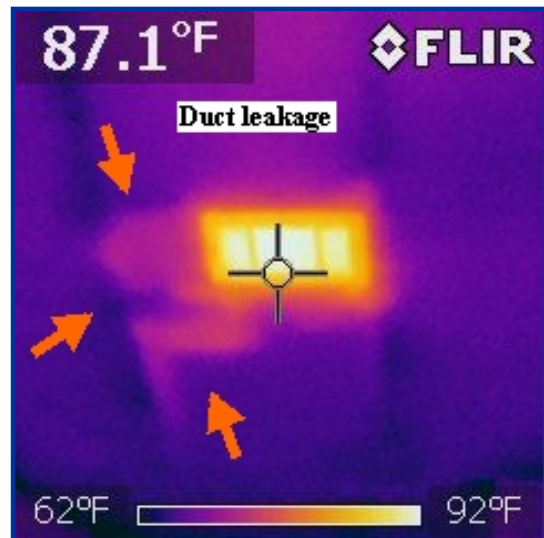
C. Duct System, Chases, and Vents

Comments:

- Filter is located in the right hall (18x36)
- The air output at the register in the forward bedroom (right) is significantly less than the aggregate of all other registers. Further evaluation recommended by licensed HVAC contractor and repairs as needed.



Register in forward (right) bedroom



Living room (right) register

IV. PLUMBING SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Water Supply System and Fixtures
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Location of Water Meter: Street (left)
 Location of Main Water Supply Valve: Exterior of structure (left side)
 Static Water Pressure Reading: 60 PSI

Comments:

- Anti-siphon/back-flow prevention device(s) are not installed on exterior faucet(s). Repairs recommended for improved safety.
- A constant drip is present at the master bath tub spout. Repairs recommended.
- The left sink in the master bath is missing an aerator and water is spraying onto the counter top during operation. Repairs recommended.
- A supply line is leaking beneath the left sink in the master bedroom during operation. Repairs required to protect against damage to cabinet and stored items below.
- The master shower head is leaking at the connection. Repairs recommended.
- Corrosion is present on copper piping in some areas, most notably beneath the master bath sinks. Further evaluation recommended and repairs as needed.
- Rust/corrosion is present on bath faucets in the home. Further evaluation recommended and repairs if/as needed.



Master bath sink (right)

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Drains, Wastes, and Vents
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Comments:

- Unpainted PVC drain vent pipes are present above the roof covering and at the main clean out. These pipes should be painted to prevent premature breakdown due to UV light exposure. Painting recommended.
- The water heater TPR (temperature and pressure release) valve vent pipe is installed improperly. The TPR drain should be piped to the exterior of the home no higher than 6 inches above grade to prevent potential for scalding if it engages. Repairs required for improved safety.
- Sinks in the home have cracks present. No leakage was noted during this inspection. Repairs are recommended if leaking becomes an issue.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Water heater in garage

C. Water Heating Equipment

Energy Source: Electric

Water heater is located in the garage.

Capacity: 40 gallons

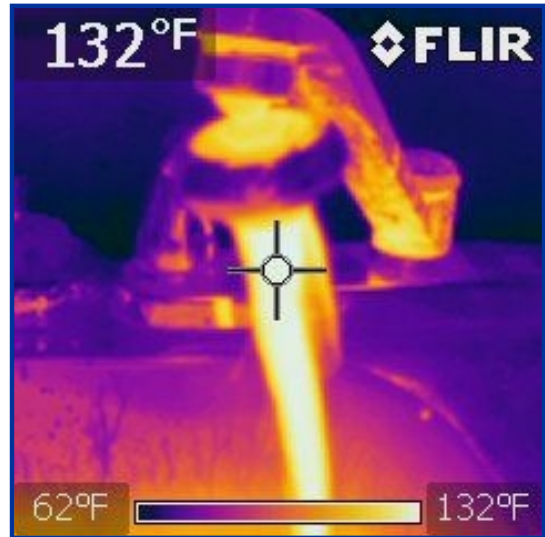
Whirlpool Brand - Model # E1F40RD045V manufactured in 2004

Comments:

- The water temperature was measured at 132 degrees which is not within acceptable limits to prevent the potential for scalding of 120 degrees. Adjustments to setting recommended.



Water heater supply/discharge lines



Excessive water temperature

D. Hydro-Massage Therapy Equipment

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Other
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V. APPLIANCES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Dishwashers
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Comments:

- Whirlpool Brand
- The dishwasher drain does not have a high loop or back flow device installed. Repairs recommended.
- The dishwasher is not secured in its cavity. Repairs recommended.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. Food Waste Disposers
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Comments:

- In Sink Erator Brand
- The food waste disposer operated properly during inspection. No deficiencies observed.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C. Range Hood and Exhaust Systems
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Comments:

- GE Brand
- Unit is ductless/recirculating type.
- Range hood operated properly during inspection. No deficiencies observed.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. Ranges, Cooktops, and Ovens
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Comments:

- GE Brand Range
- The range is missing anti-tip protection. Ranges require anti-tip protection to prevent the potential for scalding/burning in the event occupant slips and utilizes the unit for support.
- The oven temperature was measured at 425 degrees when set at 350 degrees which is not within acceptable limits. Proper calibration recommended.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Microwave Ovens
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. Mechanical Exhaust Vents and Bathroom Heaters
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Comments:

- The bath fans are venting into the attic. Current standards call for vent fans to be vented to the exterior of the structure. Repairs recommended.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Bath exhaust fan

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. Garage Door Operators
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Door Type:

- Overhead door(s) with tension spring(s) and cables

Comments:

- Craftsman Brand

- The photo electric sensors are not installed at each side of the garage door. Adding these devices is recommended for improved safety.

- The lock is not disabled for the machine operated garage door. Locks should be disabled to prevent the potential for damage to the unit/door/rails.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. Dryer Exhaust Systems
-------------------------------------	--------------------------	--------------------------	--------------------------	--------------------------

Comments:

- The dryer vent appears to properly vent to the exterior of the structure.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I. Other
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VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Swimming Pools, Spas, Hot Tubs, and Equipment
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Outbuildings
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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D. Private Water Wells (A coliform analysis is recommended)

E. Private Sewage Disposal (Septic) Systems

F. Other

Report Summary

STRUCTURAL SYSTEMS		
Page 6 Item: A	Foundations	<ul style="list-style-type: none"> Exterior foundation cracks were observed. This implies that structural movement of the building has occurred. The rate of movement cannot be predicted during a one-time inspection. A foundation specialist should be consulted to further evaluate this condition and the remedies available for correction as needed.
Page 7 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> Repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary by a licensed and qualified roofing technician. A satellite dish is installed directly on the roofing materials. Regular monitoring is recommended to prevent potential for water intrusion. Moss/organic growth is present on roofing materials in several locations. Further evaluation recommended and repairs/removal as needed. Exposed/rusty nail-heads are present in various locations of the roofing application and some nails are driven directly on shingles in some locations, most notably in the front elevation. Repairs/maintenance recommended. Shingle damage was observed in various locations (see photos), repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary.
Page 8 Item: D	Roof Structures and Attics	<ul style="list-style-type: none"> Deflections/humps are present in the left elevation roof structure. Further evaluation recommended and repairs if/as needed. Today's building standard's call for a 24" wide continuous attic service walkway and 30" wide service area to all mechanical equipment in attic. Recommend updating. The roof rafters are 2x6 members and the purlin braces are 2x4 members. Today's standards require the purlin braces to be the same size of the rafters. Repairs/updates recommended. The roof rafters do not have adequate support in various locations (every other rafter). Purlin struts are not adequately spaced for current standards. Repairs/updates recommended. Wood rot/water damage is present at decking materials over the front porch. Repairs recommended. Insulation levels are inadequate by today's standards and insulation is missing in various locations. Further evaluation recommended and repairs/updates as desired.

Page 10 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> • Wood rot/water damage was observed on the exterior wood siding and trim in various locations. Repairs should be undertaken to prevent further damage. • The overhang of the brick at the foundation wall, also known as corbelling was observed in the front and left elevations. This could lead to some instability of the brickwork. If movement occurs, re-supporting the brick would be advisable. • Pronounced exterior wall cracks were observed, most notably in the right elevation masonry application. This implies that structural movement of the building has occurred. The rate of movement cannot be predicted during a one-time inspection. A structural specialist should be consulted to further evaluate this condition and the remedies available for correction. • Vegetation is in contact with exterior walls. It is recommended vegetation be cut back at least 6 inches from exterior walls. • Caulking voids are present around window frames in some locations. Repairs/sealing recommended to prevent potential for moisture/water intrusion. • The false shutters (left) are damaged. Repairs may be desired. • Damaged sheetrock is present in some locations, most notably in the garage. Repairs recommended. • Wood rot/water damage is present at the window (right) in the breakfast/dining room. Further evaluation recommended and repairs as needed. • Minor sheetrock cracks were observed in the house and garage. This condition is mainly cosmetic in nature. Repairs may be desired. • Water stains/damage was observed at the right of the sliding glass doors. The cause for the damage should be determined and repairs should be undertaken to prevent further damage as needed. • Observed anomalous temperature signatures with IR imaging in various locations (see photos). Further investigation is recommended and repairs should be undertaken if necessary.
Page 12 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> • Sheetrock is damaged in some locations, most notably in the garage (left wall). Repairs recommended. • Minor settlement cracks were observed in the ceilings inside the home and garage. This condition is mainly cosmetic in nature. Repairs may be desired. • The carpeting in the living room is loose, most notably at the rear wall (right). Repairs recommended. • Water staining was observed in the closet of the forward (right) bedroom. The cause for the staining should be determined and repairs undertaken, if necessary, to prevent further damage. • Floor slopes are present in the left (rear) bedroom. This condition could indicate movement within the structure. Further investigation may be necessary. • Stains were noted on the carpet. Cleaning may be desired. • Observed anomalous temperature signatures with IR imaging in some locations (see photos). Further investigation is recommended and repairs should be undertaken if necessary.

Page 13 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> • The jamb of the garage/house door is damaged. Repairs recommended as needed. • Doors in the home are rubbing on their jambs/floors in some locations, most notably in the master bath and pantry. Adjustments/repairs recommended. • Doors in the home are not latching properly in various locations. Adjustments/repairs recommended. • Door stops are missing in various locations. Door stops should be installed at all doors to prevent damage to the walls. • The attic pull-down stair treads are loose and the frame does not have sufficient fasteners installed. Adjustments/repairs recommended for improved safety. • The front door deadbolt is key operated from the interior of the home. Exterior door dead bolts should not be keyed from the inside. This creates a fire egress safety concern. Repairs recommended for improved safety. • The
Page 14 Item: H	Windows	<ul style="list-style-type: none"> • Missing and/or damaged screens are present. Repairs and/or replacements recommended. • Broken/cracked glass is present in some windows, most notably in the master bedroom and forward (left) bedroom. Repairs recommended. • The rear window pane in the master bedroom has lost its seal. This has resulted in a cloudy film developing between the panes of glass and can cause the glass to lose its insulating properties. Replacement recommended. • Safety glass etchings were not observed on the glass of the window(s) at the front door and the glass above the dog door in the rear of the living room. This glass is required for windows close to the floor or in hazardous locations and is generally identified by an etching in the corner of the glass pane. Repairs recommended for improved safety. • Loose and damaged window glazings are present. Repairs recommended as needed.
Page 14 Item: J	Fireplaces and Chimneys	<ul style="list-style-type: none"> • The fireplace firebox has cracks in the mortar and voids in various locations. Repairs recommended for improved safety. • Significant creosote build-up was noted in the fireplace flue and/or firebox. Cleaning of these areas is recommended for improved safety.
Page 15 Item: L	Other	<ul style="list-style-type: none"> • Sections of the lead walk/driveway have encountered cracking/differential movement (displacement) and a trip hazard is present. Repairs recommended for proper safety.

ELECTRICAL SYSTEMS

Page 16 Item: A	Service Entrance and Panels	<ul style="list-style-type: none">• Antioxidant mastic is not applied to the aluminum main service feed wires to prevent oxidation. Repairs recommended.• The electrical service panel is not properly labeled. Various breaker designations were unable to be evaluated for proper amperage to equipment/appliances/circuits. Review recommended.• The electrical service appears to be undersized for this (all electric) house. Further evaluation recommended and repairs if/as needed.• The breaker serving the A/C is over sized (60amp), the manufacture rates a maximum breaker size of 40amps. Replacing the breaker is recommended.• Neutral wires within the main distribution panel that are bunched together on the neutral bus bar should be separated. Each wire should be served by a separate screw. Repairs recommended.• Wiring in the panel appears to be overheating when observed with IR equipment. Further evaluation recommended and repairs if/as needed.
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Page 19 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • Proper bonding was not observed on copper water piping. Further evaluation recommended and repairs as needed for improved safety. • Ground fault circuit interrupter (GFCI) should be installed in all wet areas including all kitchen/ wet bars, all exterior, all bathrooms and the garage outlets by today's standards. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution. Updating recommended for improved safety. • The GFCI outlet in the master bath is not tripping when engaged with a circuit tester. Replacement recommended for improved safety. • Light fixtures in clothes closets have exposed bulbs. Fixtures globes should be installed for fire prevention purposes. • Light fixture(s) in/on the home is/are inoperable, most notably in the front exterior and over the master tub/shower. If the bulb(s) are not defective, the circuit should be investigated and repaired as needed for proper operation. • An outlet is not installed at the front porch. Current standards require a minimum of one outlet for the front and rear elevations. Updating may be desired. • The garage door operator is powered with an extension cord. Permanent fixture are required to be hard wired or have accessible outlets. Repairs recommended. • An electrical disconnect is not supplied for the electric water heater. Updating recommended. • Dielectric fittings do not appear to be installed for the water heater supply/discharge lines. Repairs recommended for improved safety. • Conductors for the water heater are not properly enclosed in conduit at the unit and wiring is accessible. Repairs recommended for improved safety. • The conductor for the disposal is not secured at the clamp. Repairs recommended for improved safety. • The fan/lights in the dining/breakfast room were unable to be operated with normal controls. Repairs recommended for proper operation. • Exposed wiring is present in the master bedroom. Accessible wiring should be installed in conduit. Repairs recommended for improved safety. • The outlet installed in the right wall of the forward (left) bedroom has no cover plate installed. Repairs recommended. • Outlets in the home are loose in some locations. Repairs recommended. • Expose wire splices are present in various locations of the attic, most notably for the power attic fan, over the front porch, above the forward wall of the living room (left side), and at the attic light. Repairs recommended for improved safety. • The attic light is not secured to its junction box. Repairs recommended. • Smoke detectors are not installed in all bedrooms and halls. Current standards require smoke detectors in all rooms deemed sleeping quarters and adjacent hallways. Recommend updating to these standards.
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HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 21 Item: B	Cooling Equipment	<ul style="list-style-type: none"> The compressor/condenser is not secured to its pad. Securing recommended to ensure against movement due to vibrations during operation. Evidence of moisture is present in the condensate drain pan beneath the coil box. This could be an indication of issues with the primary drain. Further evaluation recommended and repairs if/as needed.
Page 21 Item: C	Duct System, Chases, and Vents	<ul style="list-style-type: none"> The air output at the register in the forward bedroom (right) is significantly less than the aggregate of all other registers. Further evaluation recommended by licensed HVAC contractor and repairs as needed.
PLUMBING SYSTEMS		
Page 22 Item: A	Water Supply System and Fixtures	<ul style="list-style-type: none"> Anti-siphon/back-flow prevention device(s) are not installed on exterior faucet(s). Repairs recommended for improved safety. A constant drip is present at the master bath tub spout. Repairs recommended. The left sink in the master bath is missing an aerator and water is spraying onto the counter top during operation. Repairs recommended. A supply line is leaking beneath the left sink in the master bedroom during operation. Repairs required to protect against damage to cabinet and stored items below. The master shower head is leaking at the connection. Repairs recommended. Corrosion is present on copper piping in some areas, most notably beneath the master bath sinks. Further evaluation recommended and repairs as needed. Rust/corrosion is present on bath faucets in the home. Further evaluation recommended and repairs if/as needed.
Page 23 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> Unpainted PVC drain vent pipes are present above the roof covering and at the main clean out. These pipes should be painted to prevent premature breakdown due to UV light exposure. Painting recommended. The water heater TPR (temperature and pressure release) valve vent pipe is installed improperly. The TPR drain should be piped to the exterior of the home no higher than 6 inches above grade to prevent potential for scalding if it engages. Repairs required for improved safety. Sinks in the home have cracks present. No leakage was noted during this inspection. Repairs are recommended if leaking becomes an issue.
Page 23 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> The water temperature was measured at 132 degrees which is not within acceptable limits to prevent the potential for scalding of 120 degrees. Adjustments to setting recommended.
APPLIANCES		
Page 24 Item: A	Dishwashers	<ul style="list-style-type: none"> The dishwasher drain does not have a high loop or back flow device installed. Repairs recommended. The dishwasher is not secured in its cavity. Repairs recommended.
Page 24 Item: D	Ranges, Cooktops, and Ovens	<ul style="list-style-type: none"> The range is missing anti-tip protection. Ranges require anti-tip protection to prevent the potential for scalding/burning in the event occupant slips and utilizes the unit for support. The oven temperature was measured at 425 degrees when set at 350 degrees which is not within acceptable limits. Proper calibration recommended.

Page 24 Item: F	Mechanical Exhaust Vents and Bathroom Heaters	<ul style="list-style-type: none">• The bath fans are venting into the attic. Current standards call for vent fans to be vented to the exterior of the structure. Repairs recommended.
Page 25 Item: G	Garage Door Operators	<ul style="list-style-type: none">• The photo electric sensors are not installed at each side of the garage door. Adding these devices is recommended for improved safety.• The lock is not disabled for the machine operated garage door. Locks should be disabled to prevent the potential for damage to the unit/door/rails.
Page 25 Item: H	Dryer Exhaust Systems	<ul style="list-style-type: none">• The dryer vent appears to properly vent to the exterior of the structure.